

COUNCIL RESOLUTION EXTRACT FROM MINUTES 19 OCTOBER 2015

CALL OF THE AGENDA

- 141** **COUNCIL'S RESOLUTION** – RESOLVED UNANIMOUSLY on the motion of Councillor Brown seconded Councillor Takacs that the staff recommendations for Items 2 to 5, 7 to 9, 11 to 16, 18, 20, 21, 23, 24, 26 and 27 inclusive, be adopted as a block.

DISCLOSURES OF INTERESTS

Councillor Martin declared non-significant, non-pecuniary interests in Items B, 2, 4 and 5 insofar as they relate to Planning Proposals and she works for the Department of Planning and Environment. However, Councillor Martin advised that she does not work on Wollongong-based projects.

ITEM 4 – WEST DAPTO URBAN RELEASE AREA – DRAFT NEIGHBOURHOOD PLAN AND PLANNING PROPOSAL FOR WEST DAPTO ROAD AND SHEAFFES ROAD, KEMBLA GRANGE – POST EXHIBITION

The following staff recommendation was adopted as part of the Block Adoption of Items (refer Minute Number 141).

COUNCIL'S RESOLUTION –

- 1 The revised Neighbourhood Plan for West Dapto Road and Sheaffes Road, Kemplar Grange be adopted as an amendment to Wollongong Development Control Plan 2009 Chapter D16 West Dapto Release Area.
- 2 A revised draft Planning Proposal be forwarded to NSW Department of Planning and Environment for a "Gateway" determination and if endorsed, exhibited for a minimum period of 28 days.
- 3 The Department of Planning and Environment be advised that Council does not wish to exercise its plan making delegations, as Council is the major landowner in the neighbourhood.

ITEM 4

WEST DAPTO URBAN RELEASE AREA - DRAFT NEIGHBOURHOOD PLAN AND PLANNING PROPOSAL FOR WEST DAPTO ROAD AND SHEAFFES ROAD, KEMBLA GRANGE - POST EXHIBITION

On 15 December 2014, Council resolved to exhibit the draft Neighbourhood Plan for West Dapto Road and Sheaffes Road, Kemplla Grange for a minimum period of 28 days and to prepare a draft Planning Proposal to relocate the town centre to the north of West Dapto Road, identify a primary school site and amend the boundary of the R3 Medium Density Residential / E3 Environmental Management zones.

The draft Neighbourhood Plan was exhibited from 27 January 2015 to 27 February 2015. This report considers the submissions received during the exhibition period. It is recommended that an amended Neighbourhood Plan be adopted as part of the Wollongong Development Control Plan 2009 and an amended draft Planning Proposal be endorsed for exhibition.

RECOMMENDATION

- 1 The revised Neighbourhood Plan for West Dapto Road and Sheaffes Road, Kemplla Grange be adopted as an amendment to Wollongong Development Control Plan 2009 Chapter D16 West Dapto Release Area.
- 2 A revised draft Planning Proposal be forwarded to NSW Department of Planning and Environment for a "Gateway" determination and if endorsed exhibited for a minimum period of 28 days.
- 3 The Department of Planning and Environment be advised that Council does not wish to exercise its plan making delegations, as Council is the major landowner in the neighbourhood.

ATTACHMENTS

- 1 Revised Neighbourhood Plan
- 2 Draft amended Zoning Map
- 3 Draft amended Lot Size Map
- 4 Draft amended Floor Space Ratio Map
- 5 Draft amended Height of Building Map
- 6 Updated Wollongong Development Control Plan 2009 – Chapter D16 West Dapto Release Area –incorporating Neighbourhood Plan 5.3.10 West Dapto Road and Sheaffes Road

REPORT AUTHORISATIONS

Report of: Renee Campbell, Manager Environment Strategy and Planning
Authorised by: Andrew Carfield, Director Planning and Environment - Future City and Neighbourhoods

BACKGROUND

Wollongong Development Control Plan 2009 - Chapter D16 West Dapto Release Area contains development controls to guide future development within the West Dapto Urban Release Area. The provisions of Wollongong Local Environmental Plan 2009 and Chapter D16 require that a Neighbourhood Plan is prepared and adopted by Council to guide development within a specific neighbourhood precinct.

The adoption of a Neighbourhood Plan is required to allow any development applications to comply with Clause 6.2 of Wollongong Local Environmental Plan 2009.

Sheaffes Road and West Dapto Neighbourhood Plan

The Sheaffes Road and West Dapto Neighbourhood precinct contains six separate land holdings as indicated in Table 1 and illustrated in Figure 1 below. Wollongong City Council is the major landowner within the precinct and has initiated the neighbourhood planning process.

Site	Property Details	Area	Owner	Zoning
1	Lot 47 DP 751278 – 79 Sheaffes Road, Kembla Grange	9.32ha	Private (Malbec)	R3 Medium Density Residential
2	Lot 1 DP 657171 – 340 West Dapto Road, Kembla Grange	42.78ha	Council	R3 Medium Density Residential, B2 Neighbourhood Centre, RE1 Public Recreation, and E3 Environmental Management
3	Part Lot 1 DP 1118463 – 414 West Dapto Road, Kembla Grange	9.84ha (15.88 ha entire lot)	Private	R3 Medium Density Residential, B2 Neighbourhood Centre, RE1 Public Recreation, and E3 Environmental Management
4	Lot 1 DP 195705 and Lot 1 DP 1008723 (closed road) – 290 West Dapto Road, Kembla Grange	8.67ha	Private	R3 Medium Density Residential, and E3 Environmental Management
5	Lot 1 DP 818199 and Lot 2 DP 1008723 (closed road) – Lot 1 West Dapto Road, Kembla Grange	0.88ha	Endeavour Energy	R3 Medium Density Residential
6	Lot 1 DP 607776 and Lot 1 DP 227382 – Lot 1 Sheaffes Road, Kembla Grange	0.04ha	Sydney Water	E3 Environmental Management

Table 1: Land ownership details

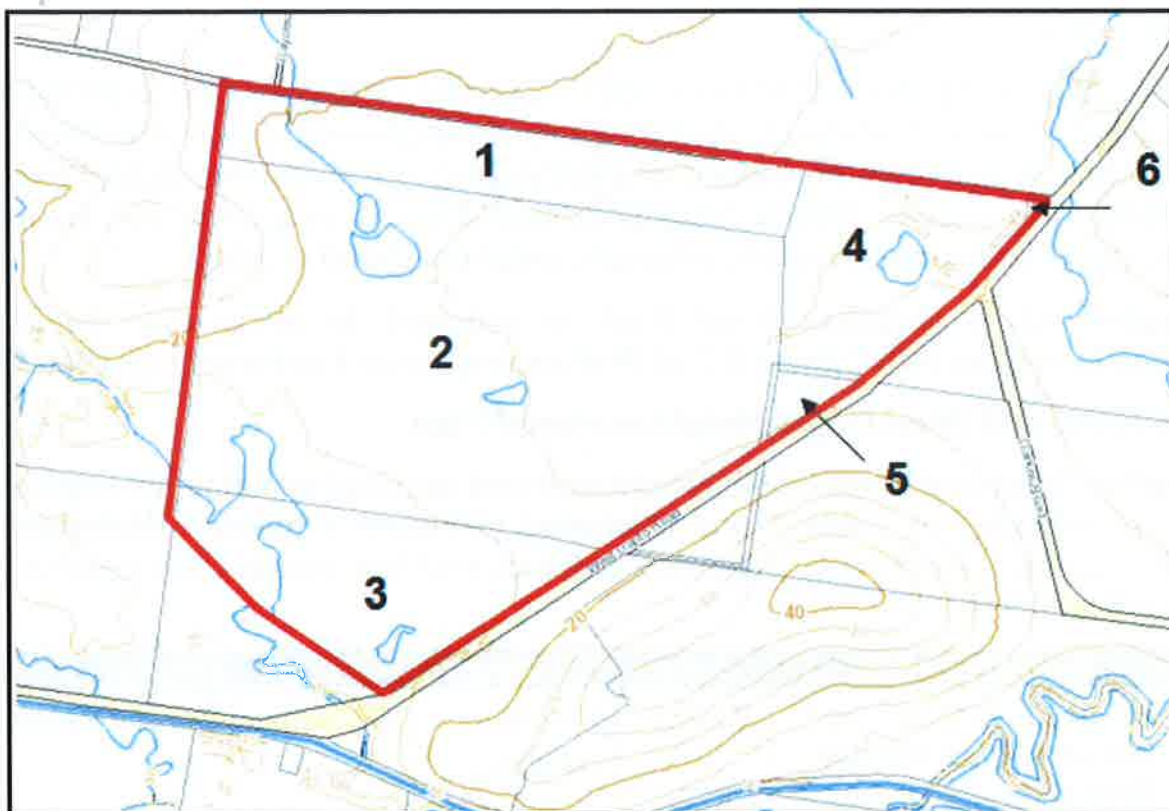


Figure 1: Land ownership pattern

The total potential developable site area, excluding the current RE1 Public Recreation and E3 Environmental Management zoned land is approximately 42.9 hectares. The breakdown of the existing zoning is shown in Table 2 below.

Zone	Area	Lot Size	FSR	Building Height
R3 Medium Density Residential	40.94 ha	300-449m ²	0.75:1 and 0.5:1	13m
E3 Environmental Management	18.38 ha	40ha	NA	9m
RE1 Public Recreation	10.2 ha	NA	NA	9m
B2 Neighbourhood Centre	1.99 ha	NA	2:1	20m

Table 2: Area breakdown by land use zone

The draft Neighbourhood Plan was developed by an external consultant (Watts Consulting) on behalf of Council in consultation with the other landholders. The draft Neighbourhood Plan was assessed by Council officers and an external consultant (SquareLink) which resulted in a revised draft Neighbourhood Plan.

The revised draft Neighbourhood Plan (see Attachment 1) provides for approximately 587 residential allotments, a 3.5 hectare town centre, a sports ground (2 cricket/AFL ovals) and a potential primary school site within the precinct.

On 15 December 2014, Council resolved to exhibit the revised draft Neighbourhood Plan for the West Dapto Road and Sheaffes Road precinct. Council also resolved to prepare a Planning Proposal to:

- relocate the town centre to the northern side of West Dapto Road;
- specify a site intended for a primary school; and
- alter the boundary between the R3 Medium Density Residential zone and the E3 Environmental Management zone.

The draft Planning Proposal was not approved by the Department of Planning and Environment for exhibition as it was inconsistent with Ministerial Direction 6.2 Reserving Land for Public Purposes, and Clause 10 of the Environmental Planning and Assessment Regulation 2000.

A letter was sent to the Department of Education seeking concurrence to allow the draft Planning Proposal to progress. The Department of Education advised that they did not support the proposed school site or being nominated as the acquisition authority.

Accordingly, the draft Planning Proposal needs to be amended and reconsidered by Council. The exhibition of the draft Neighbourhood Plan has identified other issues that could also be included in the revised draft Planning Proposal.

PROPOSAL

The draft Neighbourhood Plan was exhibited from 27 January 2015 to 27 February 2015. Submissions were received from two landowners, five State agencies and the Dapto Neighbourhood Forum. A summary of submissions is provided later in this report.

Representations from a consultant on behalf of / or of the other landowners questioned the independence of Council officers in the process. The draft Neighbourhood Plan was commissioned by the Property and Recreation Division representing Council as a land owner, and was assessed and reviewed by a consultant for the Environmental Strategy and Planning Division (regulator).

To provide transparency in the process, the key constraints and issues will be outlined in this report.

Flooding

Similar to the rest of West Dapto, the precinct is subject to flooding. A watercourse forms the southern boundary of the precinct and a minor watercourse flows through the northern part of the precinct from Paynes Road to West Dapto Road near the intersection with Darkes Road.

The current E3 Environmental Management zone reflects the extent of 1:100 flooding identified in Mullet Creek and Brooks Creek Flood plain Risk Management Study and Plan (2010). In 2011, it was subsequently discovered that for minor tributaries, the flood study did not consider the entire catchment.

Consultants were engaged to undertake the Mullet Creek Extension of Flood Model Study (2011). The extension model showed that flooding continued beyond the E3 Environmental Management zone, to Paynes Road and beyond. The report was

considered by Council on 12 March 2012 and exhibited in 2012 as part of the West Dapto Merger LEP Planning Proposal. No submissions were received. On 13 October 2014 as part of a draft Planning Proposal for the Stage 3 extension, the updated flood map was endorsed for exhibition.

An extract from the map for the precinct is shown below. The map shows the extent of the flood planning level (1:100 Annual Recurrence Interval) or the medium risk precinct. Residential development within this area is not encouraged, unless justified by a site specific flood study and compensatory excavation. The flood planning level has been used to set the revised boundary of residential/E3 Environmental Management zone.

Flooding insert



The draft Neighbourhood Plan and draft Planning Proposal proposed minor adjustments to the E3 Environmental Management/R3 Medium Density Residential zone boundary to better reflect the updated (2011) flood information.

The draft Neighbourhood Plan also proposed the partial channelisation of the western end of the northern creek, as the flows are shallow and incidental (rather than being in a defined watercourse); with a compensatory basin area however this was not accompanied by a flood study, which will need to be completed as part of the Development Application.

The submission on behalf of one of the other landowners has requested further expansion of the R3 Medium Density zone into the E3 Environmental Management zone. While some minor adjustments have merit, the extent of filling proposed is not supported unless it can be appropriately justified by a detailed flood study and balanced compensatory excavation.

The boundaries of the development area in both the Neighbourhood Plan and draft Planning Proposal have been updated to better reflect the extent of flooding. As a result the development yield has increased slightly.

Flora and Fauna

The precinct has largely been cleared by previous agricultural uses. The submitted flora report identified 2.45 hectares of vegetation on the 71.53 hectares precinct (3.5%). Two endangered ecological communities (EECs) were identified Swamp Sclerophyll Forest (1.04 ha) and Illawarra Lowlands Grassy Woodlands (1.41 ha). The draft Neighbourhood Plan suggested that the loss of vegetation on one property could be compensated by an increase (planting) on another property. This proposal was not supported and the revised draft Neighbourhood Plan and draft Planning Proposal boundaries were amended to conserve a greater area of EECs. The amended Plan retains 2.1 hectares of EECs.

Off-site compensation cannot occur unless there is an agreement between the owners or the West Dapto Biocertification Plan has been put in place which includes funding options for compensation of conservation areas.

No further amendment to the Neighbourhood Plan or draft Planning Proposal is proposed.

Bushfire

The large stand of Illawarra Lowlands Grassy Woodland vegetation on the northern side of Sheaffes Road presents a bushfire risk and is mapped as Bushfire Prone lands. An Asset Protection Zone (APZ) which includes Sheaffes Road needs to be provided. The clearing of the Endangered Ecological Community on the northern side of the Sheaffes Road to reduce the hazard to residential development on the southern side is not supported. An appropriate APZ or building design from the vegetation needs to be incorporated into the development through the Development Application process.

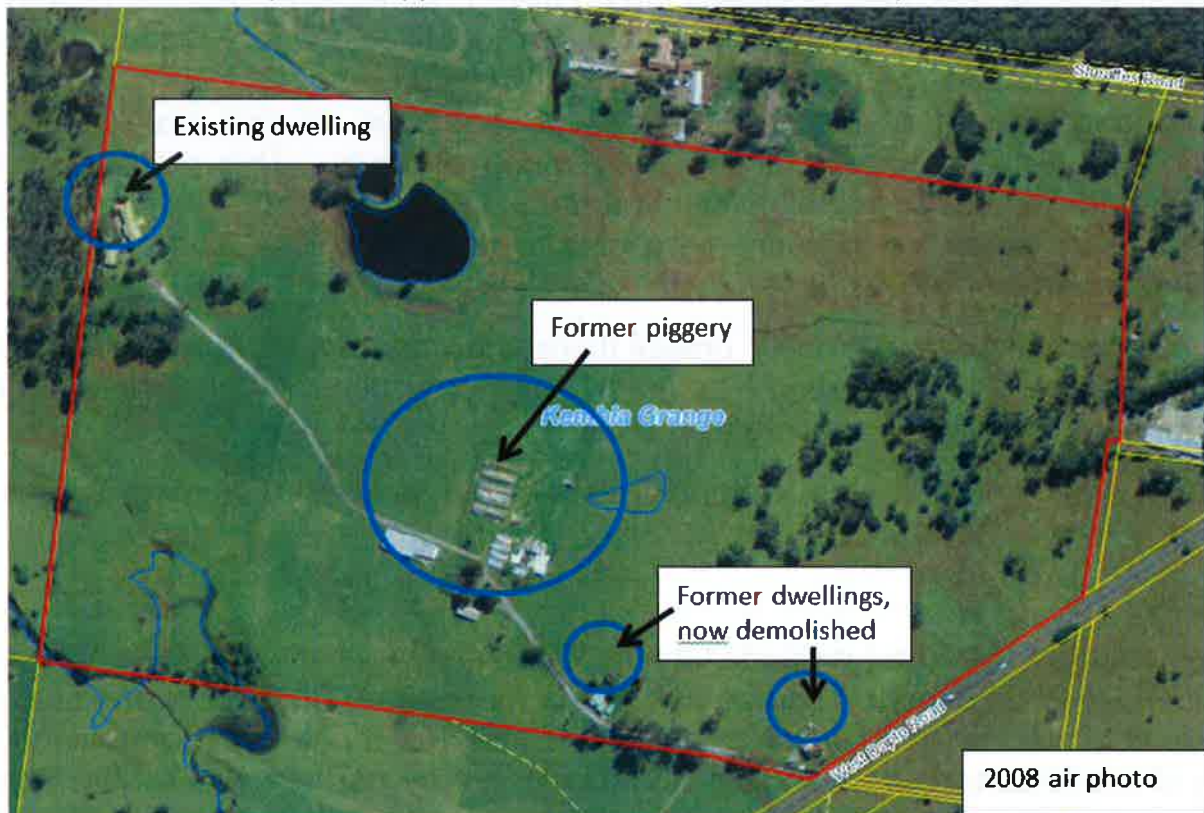
Infrastructure – Water Mains

Large water supply mains exist on both sides of Sheaffes Road within Sydney Water easements. The easements limit the opportunity to widen Sheaffes Road Reserve to approximately 18m (currently 10.06m), rather than the proposed 22.4m. The easements can be crossed by new roads, into the development area. An amended cross-section design for Sheaffes Road is being prepared.

Contamination

The Council owned land (Site 2 Lot 1 DP 657171) is identified as potentially contaminated. In 2007 and 2008, Council lodged Development Applications to demolish the piggery and two dwelling houses (which contained asbestos). The three applications were approved, and the two dwellings have been demolished and the asbestos removed. A third dwelling (now the only dwelling on-site) remains on the western part of the property. The asbestos was removed from the piggery, but the structure frame still exists.

A contamination assessment report in 2008 by Coffey Environments Pty Ltd confirms parts of the site are contaminated and recommends a range of remediation measures. A further contamination report will be required as part of the Development Application for subdivision and residential development, in order to address what remediation measures will be put in place for the site. The photo below shows the location of the piggery and the two demolished dwellings.



Heritage

No non-indigenous heritage items are within the precinct.

An Aboriginal Cultural Heritage Assessment Report was submitted with the draft Neighbourhood Plan. The report confirmed the existence of four sites on the Council land. Two of the sites contained single broken rock flakes, one site contained three flakes and the other site nine flakes.

The four sites appear to be in the development area and will require additional investigation. An Aboriginal Heritage Impact Permit (AHIP) will be required to remove the flakes as part of the Development Application process.

No amendment to the Neighbourhood Plan is required.

Town Centre

A key feature of the Neighbourhood is the “Darkes Road” Town Centre. As part of the revised draft Neighbourhood Plan and draft Planning Proposal the town centre location was amended to be fully on the western side of West Dapto Road (3.51 ha). On 24 March 2014 and 3 August 2015 Council resolved to rezone the land on the eastern side of West Dapto Road (in the Darkes Road South West precinct) from B2 Local Centre to R3 Medium Density Residential Development.

No further change to the town centre is proposed as part of the finalisation of the Neighbourhood Plan or the revised draft Planning Proposal.

Sports Park

Another feature of the neighbourhood is the Sports Park located on the southern boundary. The proposed park has an area of 10.2 hectares and is proposed to contain 2 AFL/cricket ovals, plus parking and amenities. The park could also contain a community centre, although this could also be located in the town centre.

The north-west part of the proposed park is in Council ownership (4.4 hectares) whereas the south east part (5.8 hectares) is identified for acquisition by Council. No change to the Sports Park is proposed as part of the finalisation of the Neighbourhood Plan or the revised draft Planning Proposal.

Education Facilities

The draft Neighbourhood Plan and draft Planning Proposal nominated a 3 hectare public school site within the precinct. The draft Planning Proposal identified the Department of Education as the acquisition authority. As the Department of Education and Communities had not agreed to the acquisition, the Department of Planning and Environment could not issue Gateway determination to allow the draft Planning Proposal to be exhibited.

The Department of Education and Communities advised that the nominated site for a school is not suitable and the Department does not agree to be the nominated acquisition authority. The Department advised that the site is not suitable as:

- there is an existing riparian corridor which runs through the site with unknown contamination risks and
- is mostly included in a flood corridor which is rated as having a medium risk.

The Department also noted that:

The land in this neighbourhood plan is within the catchment for Dapto Public School. New government schools will only be funded, built and operated where there is a demonstrated need for a new school. Prior to significant public funding being allocated to establish new schools, the Department needs to ensure existing schools have reached their full capacity to a point where further expansions or changes to school enrolment boundaries are no longer viable.

Due to the significant time between rezoning and funding of new school developments, the Department's experience is that land use plans will likely be altered and changed for a variety of reasons not yet known. Therefore the Department cannot provide guarantees of where and when new schools would be built until a new school is committed to in the State budget and land acquisitions have been made.

If Planning Authorities and land use developers want greater certainty of future school locations in new urban areas, land dedications for school sites via a Voluntary Planning Agreement or a Works-in-Kind agreement for State infrastructure contributions will be required.

It is noted that the Department of Education has not earmarked any new school sites in West Dapto. The current DCP identifies six new primary school sites and two high schools are required to serve the future West Dapto communities. The opportunities for a school site in Stages 1 and 2 are being reduced with the approval of each neighbourhood plan showing residential development.

It is considered that a school is still required in the precinct and an alternate 3 hectare site has been included in the final Neighbourhood Plan closer to the Sports Park. The draft Planning Proposal has been amended by reverting the school site to a residential zone and the Department of Education and Communities is not identified as the acquisition authority. The implication is that the land will be available for residential development or a private school, if not required by the Department of Education. The acquisition of the site could occur through the draft State Infrastructure Contribution and then transferred to the Department of Education.

Substation

Endeavour Energy have purchased the triangular shaped Lot 1 DP 818199 and the adjoining Lot 1 DP 1008723 (part of the former road)(landowner 4) which have a combined area of 0.88 hectares. The location and triangular shape of the site is not ideal for a substation or the surrounding residential development.

In a submission, Endeavour Energy suggested perimeter roads should be provided to allow for substation access. This is difficult to achieve due to the location of the site adjacent to the riparian corridor.

It would be preferable for the substation to be located in another location, as previously proposed, so that the land could be available for residential development to support the town centre. Endeavour Energy have previously suggested a willingness to consider other sites, at no cost to them. A land exchange may still be an option which could result in a better development outcome but would require the agreement of various owners.

No further change to the substation site is proposed as part of the finalisation of the Neighbourhood Plan.

Road Network

The draft and revised draft Neighbourhood Plan proposed the realignment of proposed road 2 (a minor connector) which will eventually extend to Smiths Lane, Wongawilli. The realignment keeps the road along the edge of the riparian corridor, rather than going over the small knoll and provides a better outcome. The cycleway will also be in this location.

The proposed road map and cycleway maps in the West Dapto chapter of the Wollongong DCP 2009 and the West Dapto 94 Plan are proposed to be updated to reflect this change.

The location of the intersections of the roads connecting with West Dapto Road align with the roads from the Darkes Road South West precinct opposite West Dapto Road.

No further change to the road and cycleway networks are proposed as part of the finalisation of the Neighbourhood Plan.

CONSULTATION AND COMMUNICATION

The draft Neighbourhood Plan was exhibited from 27 January 2015 to 27 February 2015. Submissions were received from two landholders, the Dapto Neighbourhood Forum, NSW Department of Education and Communities, NSW Rural Fire Service, Sydney Water, NSW Office of Environment and Heritage and Endeavour Energy. The issues raised are in the table below.

Summary of Submissions: Draft Neighbourhood Plan Sheaffes and West Dapto Roads

Name	Issues	Comments
Studio Colin Polworth Pty Ltd on behalf of Landowner 4	Object to the quantity of open space and drainage land on their site and the inequity compared to other properties. Compensatory habitat on their site is unjust as it provides for removal of habitat and subsequent development opportunities on other properties. Object to the substation location and its impacts on the development opportunities on site.	The R3/E3 boundary has been reviewed and amended to better reflect the extent of flooding. Agreed. The revised draft Neighbourhood Plan removed this suggestion. Until the West Dapto Biocertification Plan is adopted each landowner will need to manage their own vegetation outcomes. The substation location was purchased by Endeavour Energy. Although the location is not ideal, the substation is needed to service the development of West Dapto.

Name	Issues	Comments
	Irregular land use zoning shapes and locations on their site limit development opportunities. The road layouts in the neighbourhood plan have fewer roads on site 4 and there may be access issues that limit future development. Bushfire and Asset Protection Zone requirements from the forested property on the northern side of Sheaffes Road will limit development opportunities. The plan omits information required under Clause 5.2 of Chapter D16 of the DCP, such as consideration of noise impacts, flooding, drainage management, and visual character. Have made a preliminary submission for a Planning Proposal to alter zoning boundaries.	The zone boundaries have been derived from the land constraints. The Neighbourhood Plan is not a subdivision plan, but does indicate how a neighbourhood could be developed. The road layout has been updated. The forested area and bushfire Asset Protection Zones are part of the constraints of the area. The neighbourhood Plan submitted by Watts Development Consultancy contained consideration of the matters outlined in Clause 5.2 of Chapter D16 of the Wollongong DCP 2009. The preliminary submission proposes a major revision of zone boundaries and would require background studies (such as a flood study) to progress. The suggested Planning Proposal request has not yet been lodged and would be assessed separately.
Dapto Neighbourhood Forum	Who is the independent consultant? They should be named for transparency. Does the independent consultant support the recommendations? Support the relocation of the substation away from the playing fields and public reserve. The town centre should only provide for immediate/small neighbourhood needs/facilities in order not to undermine	The consultant Watts Development Consultancy drafted the plan on behalf of Council (as landholder) and other landholders. Council staff and an external consultant – (SquareLink) assessed the proposed Neighbourhood Plan. Noted. The size and location of the town centre considers the hierarchy of the town centres

Name	Issues	Comments
	the viability of Dapto Town Centre. The relocation of the town centre to the north side of West Dapto Road is supported.	in the area, including Dapto's planned role as the major regional centre for the surrounding area. Noted.
Cardno on behalf of Malbec Properties (Landowner 1)	Sheaffes Road widening should reach a consensus between Council, Sydney Water and landowners. Seek asset protection zone to move further north of Sheaffes Rd to avoid sterilising Malbec land. Seek a reduction in minimum lot sizes from 450sqm to 300sqm on Malbec property to achieve 25 dwellings /hectare density. Seek a 0.75:1 floor space ratio for the R3 zone on the Malbec site.	Sydney Water has provided comments with regard to protection of the water supply assets within the road reserve. The bushfire Asset Protection Zone is due to the natural constraints of the land to the north. No change proposed. The proposed reduced minimum lot size has merit and could be extended to other areas within the neighbourhood. This has been incorporated into the draft Planning Proposal. The proposed 0.75:1 floor space ratio has merit and has been incorporated into the draft Planning Proposal.
Agency Submissions:		
NSW Department of Education and Communities	Require school sites to be a surrounding zone, not SP2. The nominated site is not suitable as it is part of an existing riparian corridor, is within a flood corridor with medium risk, has two large dams and has an unknown contamination risk. This area is within the catchment for Dapto Public School. No new schools will be agreed to unless there is a demonstrated need for a new school (e.g. existing schools have reached development and	Noted, the zone can stay residential. The SP2 zone has been removed from the Planning Proposal. The Department has not agreed to be an acquisition authority. The site is still nominated for a primary school in the Neighbourhood Plan, but should retain the R3 Medium Density zone. If an organisation wishes to establish a private school

Name	Issues	Comments
	enrolment capacity). If planners or developers want certainty, a school site could be dedicated. Discussions with DEC do not agree that DEC should be acquisition authority.	in the precinct, they can negotiate to buy land from the landowner. If no school is required, the site can be developed for residential purposes.
NSW Rural Fire Service	A resolution of the Sheaffes Road Asset Protection Zone needs to be made. The report with the plan assumes a higher standard of fire resistance than normally required. Asset Protection Zones within residential properties will need a sufficient lot size to accommodate the APZ.	The Sheaffes Road Asset Protection Zone will be measured from the northern property boundary of Sheaffes Road. Further assessment of individual development will be made at development application stage. Lots will need to allow for the 35m Asset Protection Zone.
Sydney Water (Landowner 6)	Sheaffes Road contains critical infrastructure that services the Illawarra. These assets and the protection of these assets should be included in the Neighbourhood Plan. Note: Large water mains are located on both sides of Sheaffes Road which limit road widening opportunities.	The design for Sheaffes Road has been amended to allow for an 18 metre road reservation, which will fit between the Sydney Water infrastructure lines.
NSW Office of Environment and Heritage	The proposed offset for clearing the Lowland Grassy Woodland EEC is inadequate. The Neighbourhood Plan should be consistent with flood planning policies and risk management. Aboriginal heritage values should be conserved where possible. Cannot comment on specific intended actions on Aboriginal heritage due to insufficient information. Aboriginal sites not listed in AHIMS should be notified.	Council is pursuing a Biocertification strategy for the West Dapto urban release area that will consider offsets. The Neighbourhood Plan considers flood risk management. The comments on Aboriginal heritage are noted. Additional information will be required as part of future Development Applications. Aboriginal sites are listed in the AHIMS and no additional sites have been found.

Name	Issues	Comments
Endeavour Energy (Landowner 5)	The proposed residential zoning surrounding the substation site is not supported by Endeavour Energy and also appears to compromise the surrounding proposed road layout for residential subdivision. West Dapto Road is indicated as requiring widening but no details are provided. Due to its triangular shape, the substation site has extremely limited capability to provide for any road widening. West Dapto Road is indicated as a 'Major Collector Road'. The substation requires heavy vehicle access from West Dapto Road and access cannot be denied. The substation requires at least two road frontages (preferably three) and a possible easement on the third side to provide the adequate spacing for the cable ducts and to prevent the current carrying capacity of underground cables de-rating from higher ambient temperature from increasing the depth and/or reducing the parallel spacing / separation of the cables. The substation is likely to be a 132/11 Kilovolt (kV) arrangement i.e. the incoming bulk supply / transmission feeders will be at 132 kV and pass through the substation transformers for distribution down to 11kV. A suitable 132kV corridor/easement to accommodate 2 x 132kV single pole overhead lines will be required between Endeavour Energy's zone substation (Lot 1 – DP818199, West Dapto Rd) and existing transmission line 980 located just west of the Draft Neighbourhood Plan - Kembla Grange. The minimum corridor/easement width needs to be 47m.	This site was purchased by Endeavour Energy. No widening of the road reserve is proposed in front of the Endeavour Energy site. Access is not proposed to be denied. If Endeavour Energy requires additional land, it can purchase from an adjoining owner, on a land swap agreement. Endeavour Energy will need to negotiate their easements with the surrounding landowners. The easement could follow roads and riparian corridors to minimise impacts on developable land.

PLANNING AND POLICY IMPACT

This report relates to Wollongong 2022 objective "Residents have improved access to a range of affordable housing options" under the Community Goal "We are a healthy community in a liveable city" and the "objective "walking, cycling and public transport is an accessible and well-resourced means of transport, and the use of private cars is

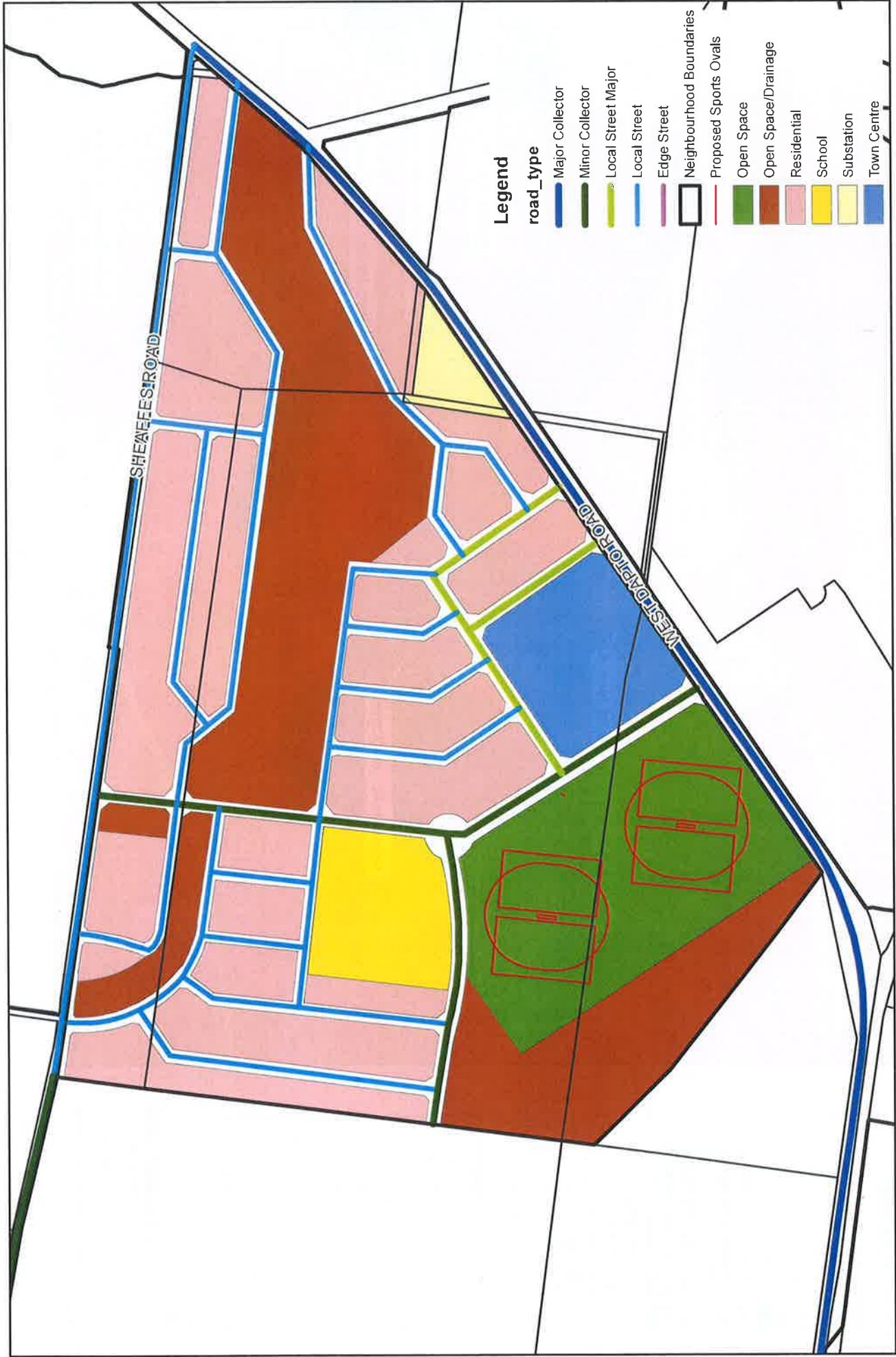
reduced” under the Community Goal “We have sustainable, affordable and accessible transport”.

The submissions received have raised issues that have implications for the Planning Proposal that relates to this Neighbourhood Plan:

- removal of the proposed school zone and land acquisition provisions (see Attachment 2).
- altered lot size, floor space ratio, and Height of Buildings provisions for some areas within the R3 zone (see Attachments 3, 4 and 5).
- altered boundary for the R3 and E3 zone (see Attachment 2).

CONCLUSION

It is recommended that these changes be included in an amended Planning Proposal seeking a “gateway” determination, and that Council adopt the amended Neighbourhood Plan as an amendment of Chapter D16 of Wollongong Development Control Plan 2009 (see Attachment 6).



Legend

- | | | | | | | | | | | | | | |
|------------------|-----------------|-----------------|--------------------|--------------|-------------|--------------------------|-----------------------|------------|---------------------|-------------|--------|------------|-------------|
| road_type | Major Collector | Minor Collector | Local Street Major | Local Street | Edge Street | Neighbourhood Boundaries | Proposed Sports Ovals | Open Space | Open Space/Drainage | Residential | School | Substation | Town Centre |
| | | | | | | | | | | | | | |



WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009

Planning Proposal Land Zoning Map

Zoning

- B2** Local Centre
- E2** Environmental Conservation
- E3** Environmental Management
- IN2** Light Industrial
- R2** Low Density Residential
- R3** Medium Density Residential
- RE1** Public Recreation
- RE2** Private Recreation
- RU1** Rural Landscape
- SP1** Special Activities
- SP2** Infrastructure
- Zoning Changes**

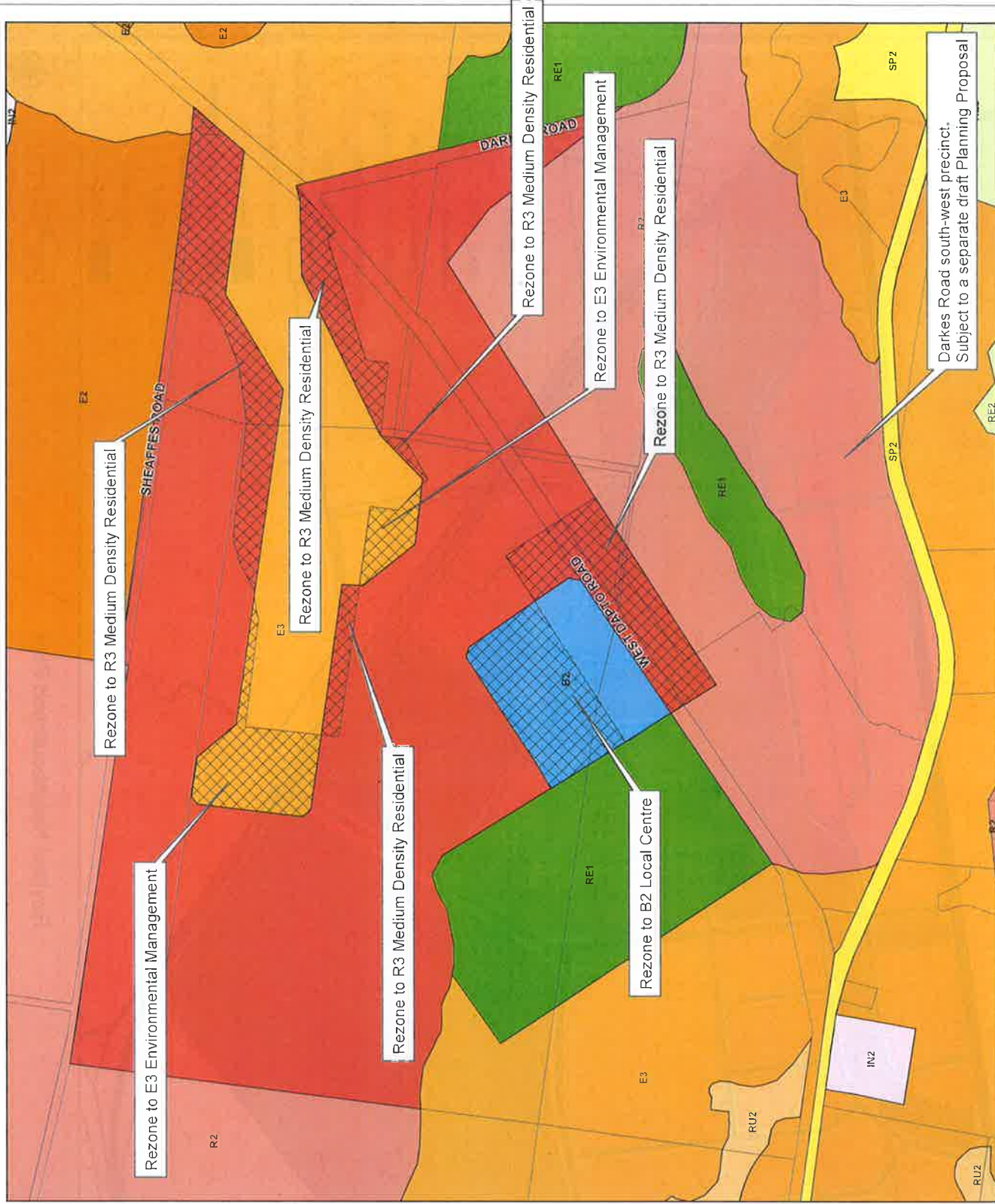
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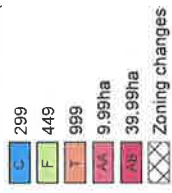
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Kilometres

Projection: GDA 1984
MGA Zone 56
Scale 1:5 000 @ A3

Map Identification number: ShearfishRoad_PP_Zoning.mxd
Amended 19/08/15



Minimum Lot Size (sq m)



Cadastral

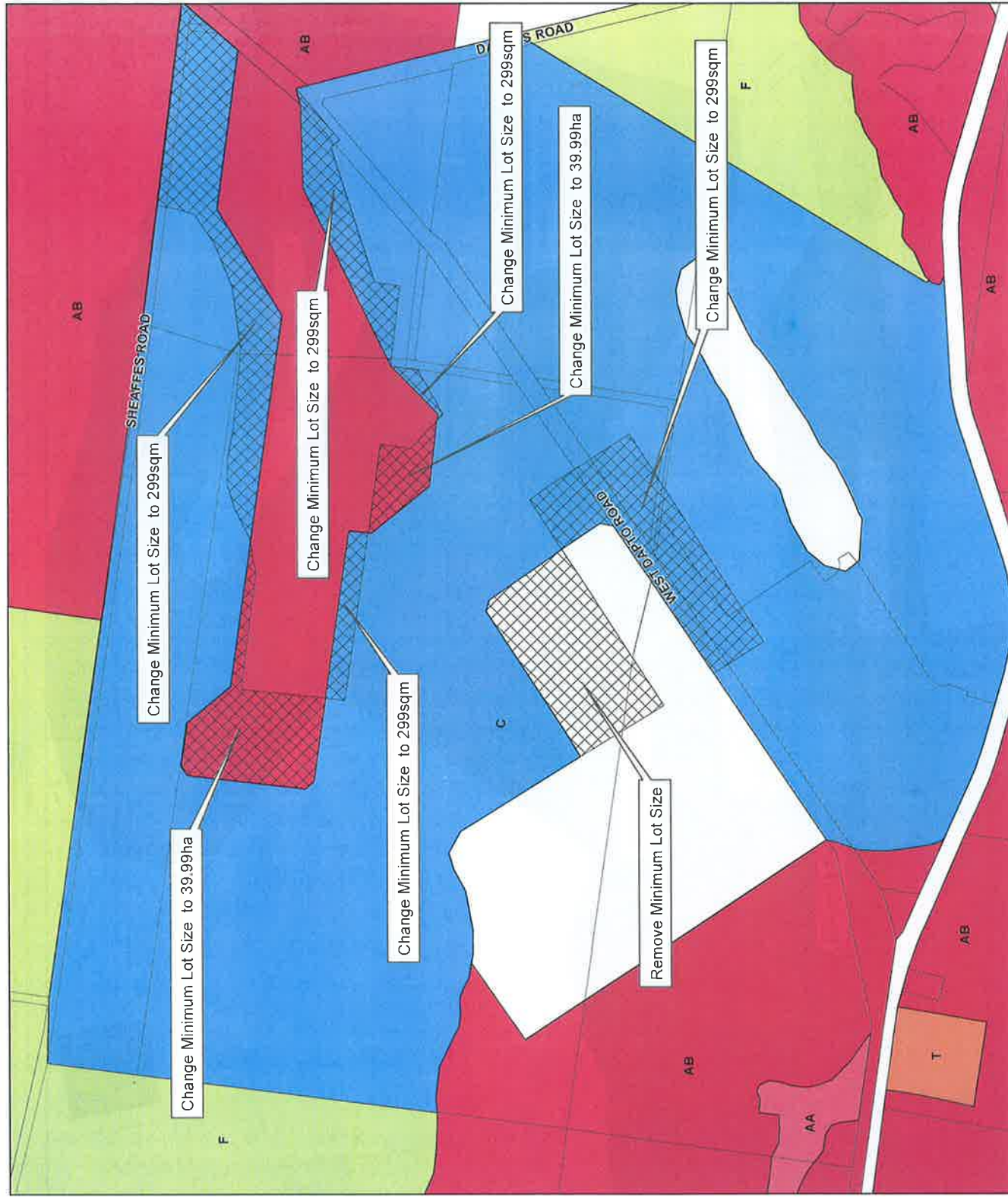
Outline 27 01 14 to Wollongong City Council



Projection: GDA 1994
MGA Zone 56

Scale 1:5 000 @ A3

Map Identification number:
SheaffsRoad_PP_MinLotSize.mxd



**Planning Proposal
Floor Space Ratio Map**

Maximum Floor Space Ratio (n:1)



 Zoning changes

Cadastre

 Cadastre 2014: 1:4, Wollongong City Council



Projection: GDA 1994
MGA Zone 56

Scale 1:5 000 @ A3

Map Identification number
SheaffesRoad_PP_FSR.mxd

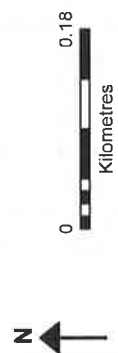


Maximum Building Height (m)

Zoning Changes



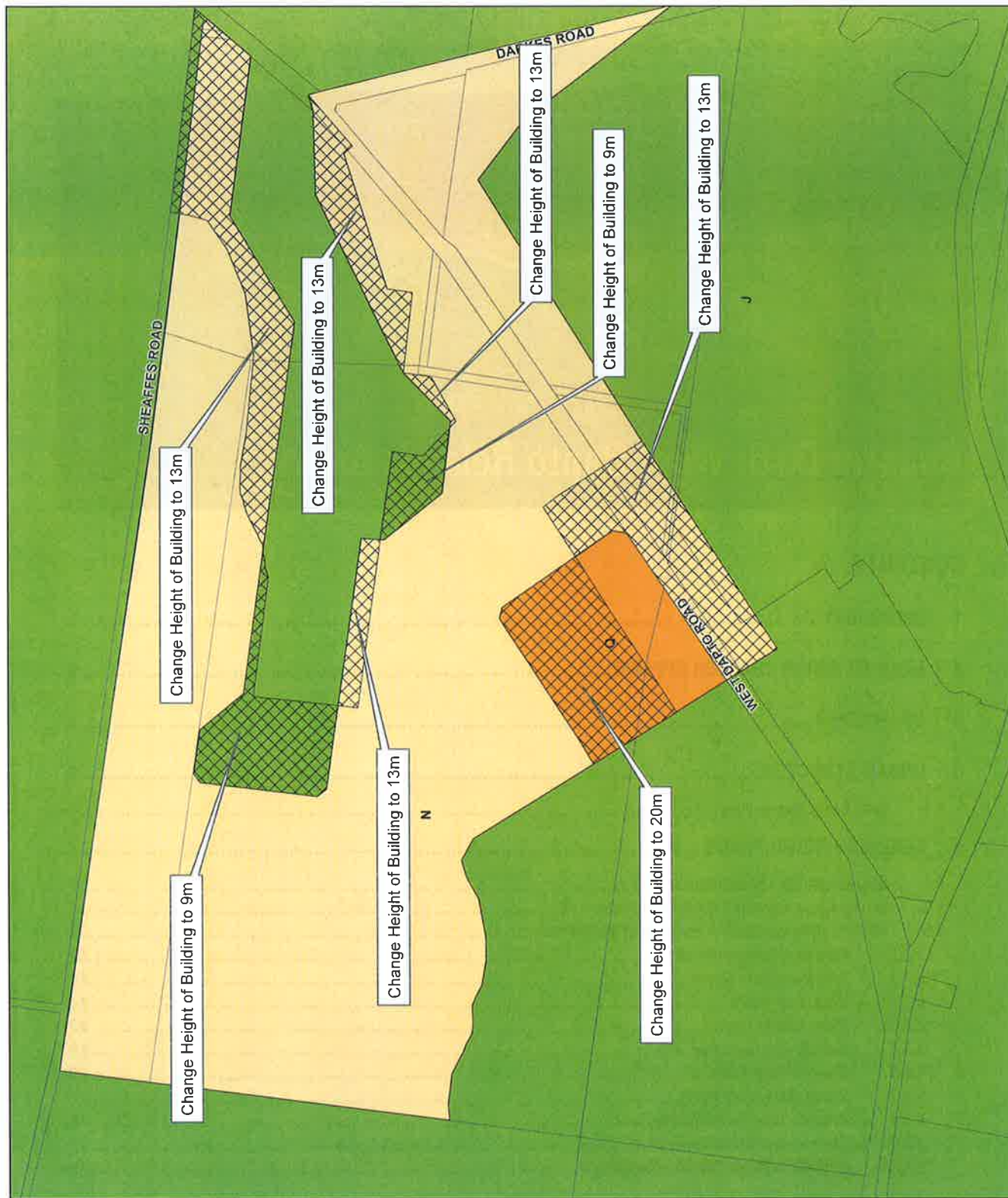
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CONTENTS

1	INTRODUCTION	1
2	LAND TO WHICH CHAPTER APPLIES	1
3	OBJECTIVES	1
4	URBAN STRUCTURE	4
4.1	WEST DAPTO MASTER PLAN	4
5	NEIGHBOURHOOD PLANS	7
5.1	REQUIREMENT FOR A NEIGHBOURHOOD PLAN	7
5.2	MATTERS TO BE ADDRESSED IN A NEIGHBOURHOOD PLAN	8
5.3	MATTERS TO BE ADDRESSED IN DEVELOPMENT APPLICATIONS	9
5.3.1	<i>Bong Bong East and North</i>	<i>12</i>
5.3.2	<i>Bong Bong Town Centre</i>	<i>14</i>
5.3.3	<i>Wongawilli - north</i>	<i>14</i>
5.3.4	<i>Shone Avenue - south</i>	<i>17</i>
5.3.5	<i>Reddalls Road Industrial</i>	<i>19</i>
5.3.6	<i>Sheaffes Road North</i>	<i>20</i>
5.3.7	<i>Darkes Road South West</i>	<i>22</i>
5.3.8	<i>Avondale Road North, Huntley</i>	<i>26</i>
5.3.9	<i>Shone Avenue / West Dapto Road</i>	<i>27</i>
5.3.10	<i>West Dapto Road / Sheaffes Road (south)</i>	<i>29</i>
6	DEVELOPMENT CONTROLS	30
6.1	TOWN CENTRES	30
6.1.1	<i>Town Centres and Villages</i>	<i>30</i>
6.1.2	<i>Design Principles</i>	<i>30</i>
6.1.3	<i>Bong Bong Town Centre</i>	<i>31</i>
6.1.4	<i>Darkes Road Town Centre</i>	<i>32</i>
6.1.5	<i>Development Controls</i>	<i>33</i>
6.2	VILLAGE CENTRES / LOCAL NODES	33
6.2.1	<i>Design Principles</i>	<i>34</i>

6.2.2	<i>Development Controls</i>	34
6.3	GENERAL DEVELOPMENT CONTROLS	35
6.3.1	<i>Flora and fauna</i>	35
6.3.2	<i>Indigenous and European Heritage</i>	36
6.3.3	<i>Views and Vistas</i>	38
6.3.4	<i>Water Management</i>	40
6.3.5	<i>Riparian Corridors</i>	42
6.3.6	<i>Open Space and Recreation</i>	43
6.3.7	<i>Acid Sulfate Soils</i>	46
6.3.8	<i>Services</i>	46
6.3.9	<i>Subdivision Layout</i>	46
6.3.10	<i>The Road System</i>	49
6.3.11	<i>Areas under Easement</i>	60
6.3.12	<i>Schools and Community Facilities</i>	60
6.3.13	<i>Employment Area</i>	62
6.4	<i>Wongawilli Mine spur railline</i>	62

FIGURES

Figure 3.1	West Dapto Release Area	3
Figure 4.1	West Dapto Structure Plan	5
Figure 4.2	West Dapto Master Plan (stages 1 & 2) Staging	6
Figure 5.1	Defined Neighbourhoods	10
Figure 5.3.1.1	Neighbourhood Plan 1 - Bong Bong East and North	12
Figure 5.3.3.1	Wongawilli north Neighbourhood Plan	14
Figure 5.3.3.2	Dual frontage property secondary frontage treatment	16
Figure 5.3.4.1	Shone Avenue south Neighbourhood Plan	17
Figure 5.3.4.2	Dual frontage property secondary frontage treatment	18
Figure 5.3.5.1	Reddalls Road Industrial Neighbourhood Plan	19
Figure 5.3.6.1	Sheaffes Road North Neighbourhood Plan	20
Figure 5.3.6.2	Dual frontage property secondary frontage treatment	21
Figure 5.3.7.1	Darkes Road South West Neighbourhood Plan	22
Figure 5.3.7.2	Dual frontage property secondary frontage treatment	23
Figure 5.3.7.3	BAL Construction Standards relevant to the Neighbourhood Plan	24
Figure 5.8.1	Avondale Road North, Huntley Neighbourhood Plan	26
Figure 5.3.9.1	Shone Avenue and West Dapto Road Neighbourhood Plan	27
Figure 5.3.10.1	West Dapto Road / Sheaffes Road (south) Neighbourhood Plan	29
Figure 6.1	Bong Bong Town Centre – Conceptual layout	31
Figure 6.2	Darkes Road Town Centre – Conceptual layout	32
Figure 6.3	Darkes Road Town Centre – Conceptual Cross section	32
Figure 6.4	Wongawilli Village Centre – Conceptual design	34
Figure 6.4	Heritage Map	37
Figure 6.5	Views and Vistas	39
Figure 6.5.1	Recreation Facilities 2013	45
Figure 6.6	Housing choice transect	48
Figure 6.7	Proposed Road Network	51

Figure 6.8	Cycleway network	52
Figure 6.9	Road Types	53
Figure 6.10	Road Cross Sections	54
Figure 6.11	Proposed Flood Access Network	58
Figure 6.12	Proposed Road Widening	59
Figure 6.13	Proposed Schools	61
Figure 6.14	Wongawilli rail noise area	63

Document Control

Document ID: Wollongong DCP 2009 – D16 West Dapto Release Area

Rev No	Adoption Date	In force date	Revision Details
1	14/12/10	17/12/12	Adopted
2	27/7/11	3/8/11	Incorporate Shone Ave Neighbourhood Plan
3	26/11/12	8/12/12	Update Wongawilli North Neighbourhood Plan
4	27/5/13	1/6/13	Incorporate Sheaffes Rd Neighbourhood Plan
5	9/12/13	14/12/13	Incorporate Reddalls Rd Industrial Neighbourhood Plan
6	24/3/14	2/4/14	Incorporate Darkes Rd South West Neighbourhood Plan and updated road network diagrams
7	3/8/15	12/8/15	Incorporate Avondale Road North, Huntley Neighbourhood Plan
8	24/8/15	9/9/15	Incorporate Shone Avenue / West Dapto Road Neighbourhood Plan
9	14/9/15	XX/9/15	Incorporate West Dapto Rd / Sheaffes Rd (south) Neighbourhood Plan

1 INTRODUCTION

This chapter is intended to implement the development structure of the West Dapto Release Area as outlined in the West Dapto Master Plan (Figure 4.2) and to provide guidance on the future development of the land at West Dapto. It is aimed at achieving the vision for West Dapto which is:

West Dapto will grow over several decades as a series of integrated communities within the spectacular natural landscape of riparian valleys and escarpment backdrop. These communities will be highly accessible and be linked with public transport as well as being designed to encourage walking and cycling. Local places and centres will provide for shopping, services and jobs, and significant new areas will be developed for employment generation for new residents. The natural and cultural heritage of the area will be integrated with new urban development and a long term strategy to oversee the timely implementation of infrastructure will deliver sustainable and high quality suburbs.

Other parts of this DCP continue to apply to the West Dapto Release Area in conjunction with this chapter. In this regard Part A of the DCP contains the Introduction and Part B Land Use Based Planning Controls. Part C provides Specific Land Use Controls and Part E General (City Wide) Controls.

2 LAND TO WHICH CHAPTER APPLIES

This chapter applies to all land within the West Dapto Release Area (Figure 3.1).

3 OBJECTIVES

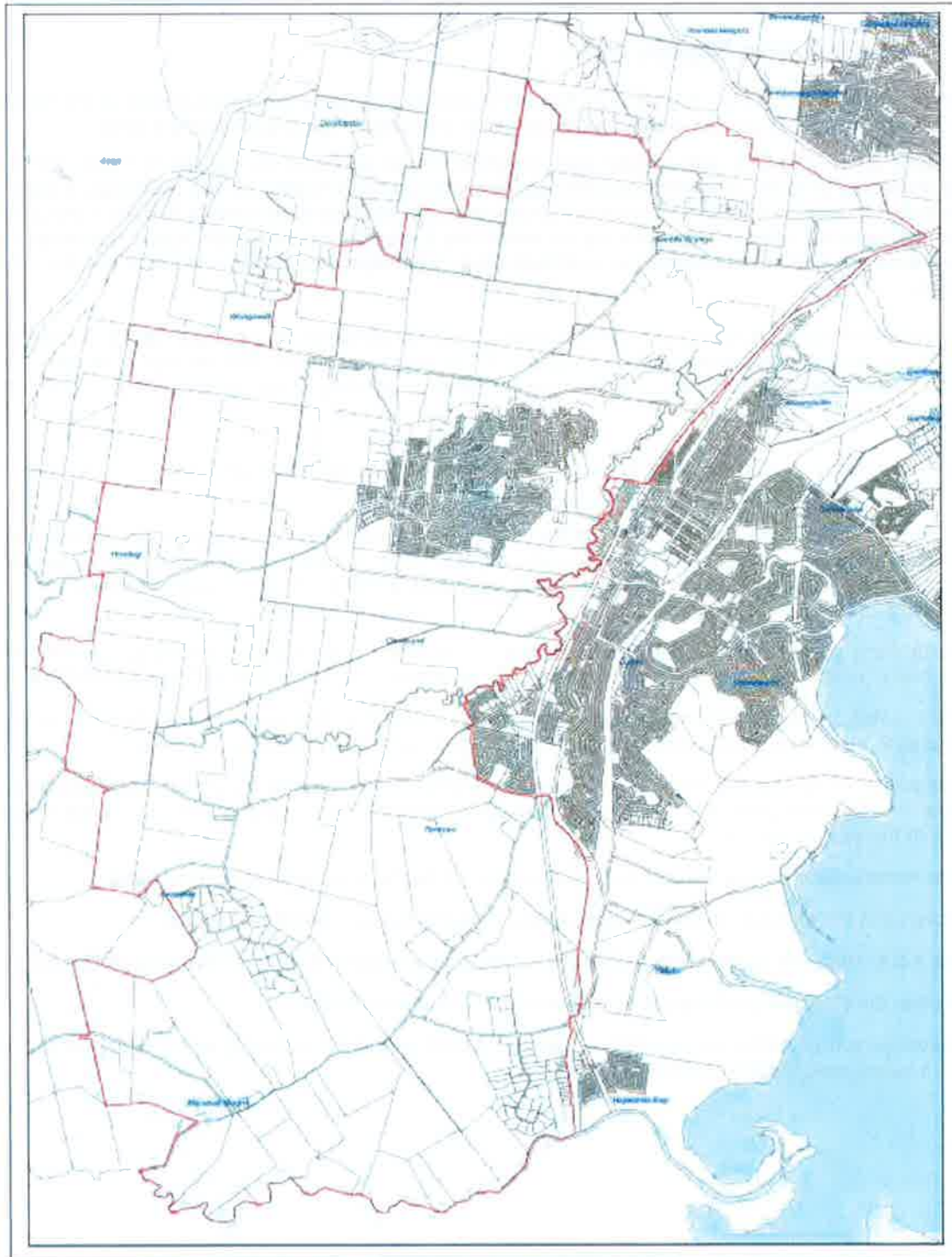
The controls within this chapter are designed to deliver a development strategy for the West Dapto Release Area which will guide the growth of new suburbs and neighbourhoods, protect the environment and integrate with existing communities.

The objectives of this chapter as follows:

- (a) To enable the development of the West Dapto Release Area for residential, employment, industrial and environmental conservation areas in a manner consistent with the Wollongong LEP (West Dapto) 2010 and the West Dapto Master Plan (Figure 4.2).
- (b) To ensure the development of the West Dapto Release Area is carried out in an environmentally, economically and socially sustainable manner.
- (c) To provide for the retention and enhancement of the environmental qualities of the area whilst allowing for the appropriate development of land to support the economic and social needs of the community.
- (d) To provide for a range of dwellings to increase housing choice and availability in the Illawarra region (Refer to Figure 6.6).
- (e) To ensure that housing is of a high design standard, ecologically sustainable and energy efficient.
- (f) To improve employment opportunities and economic growth in the Illawarra region whilst ensuring that commercial and industrial development is of a high design standard, ecologically sustainable and energy efficient.
- (g) To ensure new development is consistent with the desired future character for the area as stated within the LEP and this chapter.
- (h) To ensure the creation of safe, secure and liveable environments.
- (i) To support the provision of safe and efficient public transport services which link the surrounding areas and release area, for the use of residents and workers within the region.

- (j) To protect, conserve and enhance riparian and environmentally sensitive areas and only allow for development which is compatible with the conservation values of these areas.
- (k) To ensure that development in the Darkes Road and Bong Bong town centres contributes to the creation of retail, business, commercial and community hubs and provides significant local employment opportunities.
- (l) To preserve the environmental, cultural and built heritage of West Dapto.
- (m) To protect development in the area from flooding and the threat of bushfires.
- (n) To protect areas of high scenic value.

Figure 3.1 West Dapto Release Area



4 URBAN STRUCTURE

4.1 West Dapto Master Plan

The West Dapto Master Plan (Figure 4.2) has been prepared to guide the development of the release area over the next thirty to forty years. The Master Plan provides for development of the area.

The future urban structure and master plan for West Dapto is shown in Figures 4.1 and 4.2. It is characterised by a series of residential precincts generating approximately 17,000 dwellings. It may be appropriate for development to occur simultaneously within several separate sites of Stages 1 and 2. The residential precincts will be separated by an extensive system of riparian/open space corridors. The release area will also include protection and integration of heritage landscapes and items into the urban structure.

The approval of the Wollongong LEP (West Dapto) 2010 has released the potential for 6,676 dwellings and 175 hectares of employment land in Stages 1 & 2 of the release area. The release of Stages 3 & 4 and the Yallah-Marshall Mount precinct have been deferred pending further review. Stages 1 & 2 are characterised by:

- Development potential for approximately 6,676 dwellings representing lot supply to cater for the predicted demand of the next 15-20 years.
- The expansion of the Dapto Town Centre to a major regional centre, acting as the primary retail destination within West Dapto to provide higher order goods, regional community facilities, employment opportunities, higher density housing and a transport interchange, serving both the existing and future communities.
- Bong Bong Town Centre to service the southern part of the release area comprising approximately 15,000m² of floor space providing for retail needs, local services, community facilities and the like.
- Darkes Road Town Centre comprising approximately 7,500m² of floor space to provide for a range of shops, to meet local convenience needs, local services, community facilities and the like.
- Integration of Horsley into the overall urban structure for West Dapto by providing direct access from new development to the west through Horsley via Bong Bong Road and providing a new north-south link to the east of Horsley.
- The Kembla Grange employment area, containing 175 hectares of new employment land.

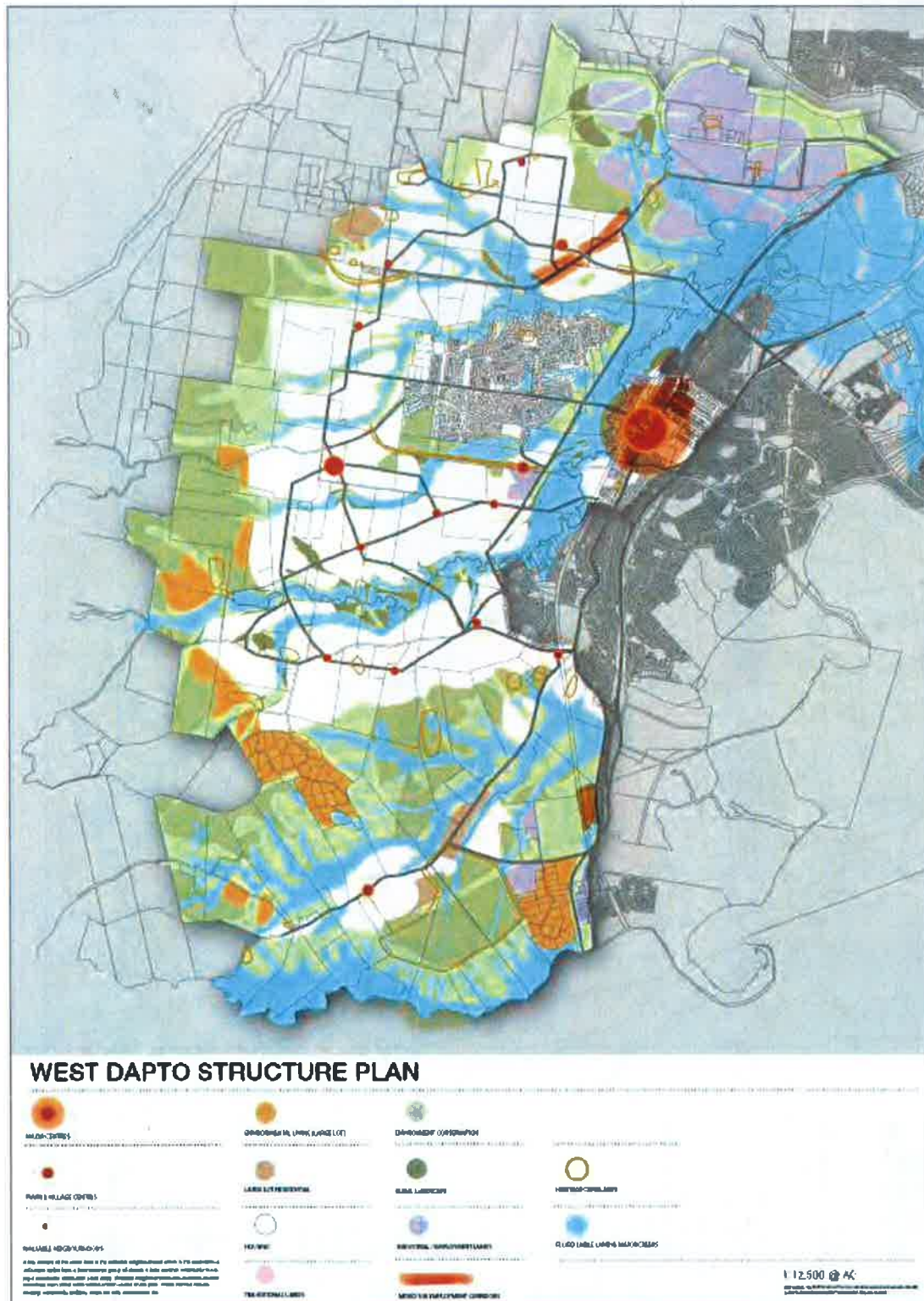
Protection and rehabilitation of conservation areas, including remnant vegetation areas

Stages 3 & 4 which will be the subject of further review and are currently deferred will ultimately include:

- Further development potential for approximately 8,749 new dwellings.

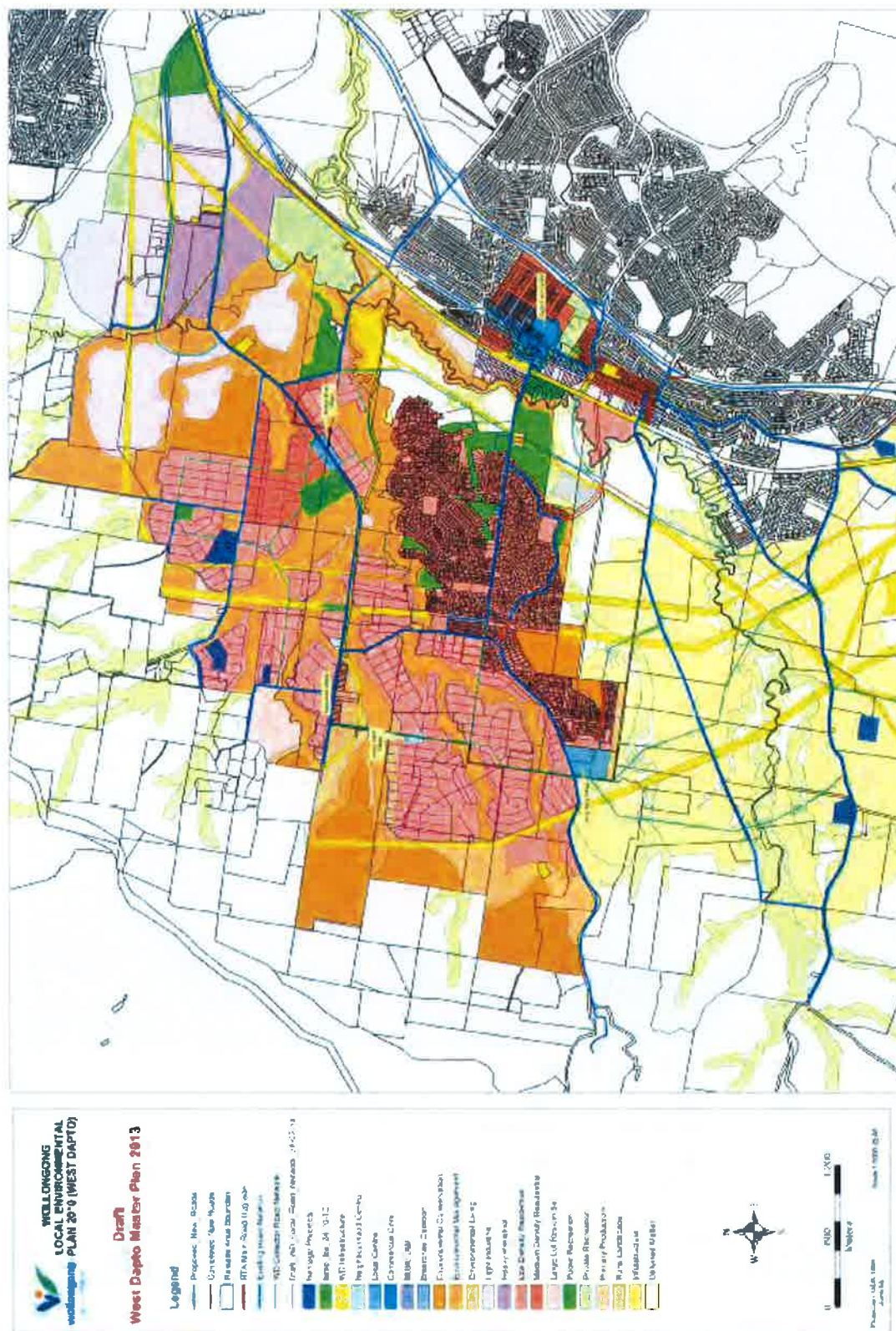
The development potential of the Yallah – Marshall Mount precinct is currently being reviewed and will form a future amendment to the LEP and this DCP.

Figure 4.1 West Dapto Structure Plan



(GCC 2008)

Figure 4.2 West Dapto Master Plan (stages 1 & 2) Staging



NB: This plan is subject to review by various Planning Proposal amendments.

Development of the West Dapto Release Area could potentially take over 40 years to develop, depending on the rate of lot take up. If the take up is slow, this is likely to have major implications in terms of the provision of social and physical infrastructure to service the area. It is critical that development does not occur on multiple fronts as this will result in the early years in a fragmented urban structure and insufficient mass of people in any one area to support the provision of services.

Land will be released according to a logical and progressive land release program which builds upon existing infrastructure and services and which avoids multiple development fronts.

The development front will commence in the north of the release area where existing water and sewer are available without the need for extensive augmentation. Starting from the north will also facilitate the early upgrading of West Dapto Road and consolidation of Kembla Grange as a major employment precinct.

Stages 1 and 2 of the release will be rezoned initially as this area provides a lot supply that caters for the predicted demand over the next 15-20 years. Later stages of the release will be subject to further review and will be rezoned over time as work is completed and demand requires. The potential staging of the Yallah Marshall Mount precinct in the south of the site will also be reviewed in the light of the Calderwood release within the adjacent Shellharbour LGA. This land may be rezoned to coincide with this release where adequate justification exists.

5 NEIGHBOURHOOD PLANS

A Neighbourhood Plan is an immediate step between the West Dapto Masterplan and a Development Application. The Neighbourhood Plan allows issues to be considered on a neighbourhood/precinct/catchment scale.

A Neighbourhood Plan enables adjoining land owners to jointly consider common constraints and design issues. The Neighbourhood Plan will be exhibited as an amendment to the West Dapto Masterplan and should be in place prior to the determination of the development application.

5.1 Requirement for a Neighbourhood Plan

A Neighbourhood Plan is required:

- To supplement the information prepared by Council to support the rezoning of West Dapto. Council did not have sufficient resources to consider every property in detail and Council's consultants were not granted access to all properties. Copies of the studies undertaken by Council are available on CD (Note the West Dapto Aboriginal Heritage Study is not a public document).
- To consider issues, mitigate impacts or propose solutions on a precinct / neighbourhood / catchment scale, rather than property by property.
- To ensure adjoining land owners consider the proposals, concepts and development timeframes of each other.
- To encourage the integration of development sites, development sequencing and economies of scale.
- To update the West Dapto master plan (Figure 4.2) with more detailed information.
- To avoid problems of other release areas, where development on adjoining lots is not integrated.

After the exhibition and adoption of a Neighbourhood Plan, Development Applications can be lodged by individual landowners (or their consultants), for development in their part of the neighbourhood. A

Development Application can be submitted on behalf of a number of landowners, provided owners consent is obtained. Any proposed variation to the agreed Neighbourhood Plan will require justification, and any variation on or near a property boundary will require agreement of the adjoining owner.

The Neighbourhood Plan process:

1. Discuss site with Council's Land Use Planning Team
2. Prepare draft Neighbourhood Plan
3. Council officers review and report draft Neighbourhood Plan to Council as an amendment to the Wollongong DCP 2009 – Chapter D16 West Dapto Release Area master plan
4. Exhibition
5. Council officers review submissions, consult with landowner / consultant over any amendments and report submissions and revised Neighbourhood Plan to Council
6. Council adopts Neighbourhood Plan as an amendment to the DCP
7. Lodgement of Development Applications

5.2 Matters to be addressed in a Neighbourhood Plan

A Neighbourhood Plan should include:

1. Site location and description
2. Land capability assessment, addressing issues such as:
 - Existing land use.
 - Wollongong LEP (West Dapto) 2010 provisions (including Zoning, Minimum Lot Size, FSR, Building Height, Flooding, Heritage, Acid Sulfate Soils, riparian corridors etc).
 - Any other relevant legislation (eg any SEPPs, Illawarra Regional Strategy).
 - The neighbourhood's setting within West Dapto, eg proximity to commercial centres, main roads, community services.
 - Flooding.
 - Bushfire.
 - Topography, known Geotechnical constraints, known Contamination constraints.
 - Biodiversity (EECs, bushland, significant trees, habitat).
 - Known or likely Heritage sites, including Indigenous Heritage cultural issues.
 - Existing road network.
 - Available utilities & services and existing easements.
 - Need for community and recreation facilities.
 - Visual character.
 - Noise impacts (e.g. from the main roads, industrial areas or public & private railways).
3. A Neighbourhood concept plan, and supporting documentation, showing proposed:

- Residential, retail, employment, recreation and conservation areas.
- Road layout & hierarchy.
- Indicative dwelling density & yield.
- Public transport, bicycle and pedestrian routes.
- Drainage management concepts (water quantity & quality).

Note – where a drainage/water quality solution is developed at a catchment or neighbourhood level, Council will acquire the agreed detention basin site through the West Dapto Section 94 Plan.

- Buffers to heritage items.
- Riparian corridors, buffers and proposed future use.
- Location of schools, community facilities, recreation facilities and parks, including any proposed public land.

5.3 Matters to be addressed in Development Applications

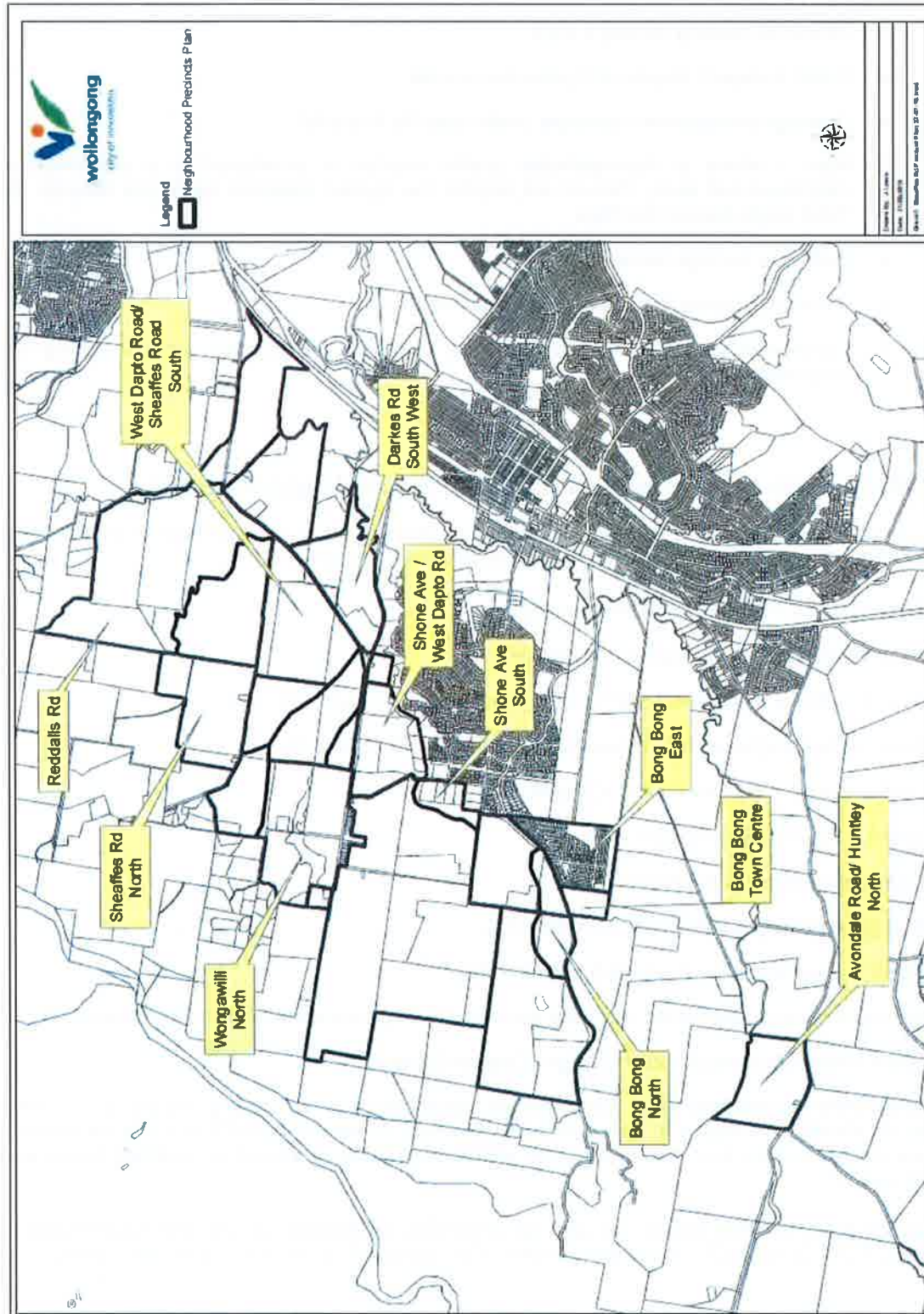
The documentation accompanying the Development Application for subdivision will have to provide more detailed site specific information and specialist reports, addressing issues such as:

- Detailed site survey by a registered surveyor.
- Development plans – lot layout, road design.
- Flora and fauna assessment and future management (Chapters E18, E23).
- Drainage/flooding/water quality modelling (Chapters E13, E14, E22).
- Land contamination assessment (Chapter E20).
- Bushfire management (chapter E16).
- Traffic assessment (Chapter E3).
- Aboriginal heritage assessment (Chapter E10).
- Noise assessment (where relevant) (Chapter E4).
- Pedestrian and bicycle routes, including accessibility for persons with a disability (Chapter E1).
- Crime Prevention through Urban Design (Chapter E2) etc

The documentation accompanying a Development Application for a Dwelling House on a newly subdivided lot should have regard to Part A and B1 (Dwelling Houses) of this DCP and any variations to the generic controls under this chapter (e.g. the standard setbacks in individual neighbourhoods may have been varied).

An application for a Dwelling House can also be undertaken in accordance with the requirements of SEPP Exempt and Complying Development, which can be assessed by Council or a Private Certifier.

Figure 5.1 Defined Neighbourhoods



Adopted Neighbourhood Plans

The following Neighbourhood Plans have been adopted for the purposes of this Part:

Neighbourhood Plan	Submitted by	Adoption Date
5.3.1. Bong Bong East and north	Stockland	14 December 2010
5.3.2. Bong Bong Town Centre (draft – see chapter 6.1.2)	Vinta Group / Bong Bong Town Centre	14 December 2010
5.3.3. Wongawilli north (excluding the village area)	Cardno Forbes Rigby and Jones Flint and Pike.	26 November 2012
5.3.4 Shone Avenue south	KF Williams	26 July 2011
5.3.5 Reddalls Road Industrial	Beadnell	9 December 2013
5.3.6 Sheaffes Road North	SMEC Urban	8 April 2013
5.3.7 Darkes Road South West	Don Fox Planning	24 March 2014
5.3.8 Avondale Road North, Huntley	Urbis	3 August 2015
5.3.9 Shone Avenue / West Dapto Road	KF Williams	24 August 2015
5.3.10 West Dapto Road / Sheaffes Road (south)	Watts Consulting & Wollongong City Council	14 September 2015

5.3.1 Bong Bong East and North

Figure 5.3.1.1 Neighbourhood Plan 1 - Bong Bong East and North



The following variations to development standards have been accepted:

Chapter B1 Residential Development - Section 4.5 Front setbacks – controls 1 and 2 are replaced with:

1. The following setback requirements apply from the primary street frontage to the front façade of the building:
 - a) Front building line: 4.5 metre minimum setback, except for garages which must be setback at least 5.5 metres from the property boundary on the primary road.
 - b) Articulation zone: An articulation zone up to a maximum of 1.5 metres measured from the foremost edge of the building line may be incorporated within the front setback zone. The following building elements are permitted in the articulation zone:
 - i) an entry feature or portico,
 - ii) a balcony, deck, patio, pergola, terrace or verandah,
 - iii) a window box treatment,
 - iv) a bay window or similar feature,
 - v) an awning or other feature over a window,
 - vi) a sun shading feature.
 - c) A building element must not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house.

- d) The maximum area of all building elements within the articulation zone, other than a building element listed in (v) or (vi) above, must not be more than twenty five percent of the area of the articulation zone, measured through the horizontal plane of the elements.
- 2. For corner allotments the following setback requirement applies from the secondary street frontage to the façade of the building:
 - a) Secondary building line: 2 metre minimum setback.

Chapter B1 Residential Development - Section 4.6 Side and rear setbacks – controls 1 to 3 are replaced with:

- 1. A dwelling house and any carport, garage, balcony, deck, patio, pergola, terrace or verandah that is attached to the dwelling house with a building height at any point up to 3.8 metres on an allotment with an area greater than or equal to 450m² must have a setback from a side boundary of at least 900mm. This control does not apply to a secondary street frontage.
- 2. Any part of a dwelling house that has a building height in excess of 3.8 metres and any carport, garage, balcony, deck, patio, pergola, terrace or verandah that is attached to a dwelling house on an allotment with an area greater than or equal to 450m² must have a setback from a side boundary of at least the sum of 900mm and an amount that is equal to one quarter of the additional building height above 3.8 metres. This control does not apply to a secondary street frontage.

N.B. A two storey dwelling house may have its ground floor component (up to 3.8 metres in height) setback 900mm from the side boundary with the second storey setback further as required by the formula in (2).

A dwelling house that is part two storey and part single storey may have the single storey portion of the dwelling house (up to 3.8 metres) setback 900mm from the side boundary and the two storey portion of the dwelling house setback further as required by the formula in (2).

- 3. On an allotment with an area less than 450m² and a lot width 10m or less, where an easement for access and maintenance as well as driveway crossing locations (which are located so as not to adversely impact on-street parking capacity) are provided on title, a zero side setback may be applied to one side for the single storey component of the dwelling. The two storey component of the dwelling is to be setback further as required by the formula in (2). This control does not apply to a secondary street frontage.

The following additional controls to apply:

- 6. A dwelling house and any carport, garage, balcony, deck, patio, pergola, terrace or verandah that is attached to the dwelling house with a building height at any point up to 3.8 metres must have a setback from the rear boundary of at least 3 metres.
- 7. A dwelling house with a building height of more than 3.8 metres and any carport, garage, balcony, deck, patio, pergola, terrace or verandah that is attached to the dwelling house must have a setback from the rear boundary of at least 3 metres, plus an amount that is equal to three times the additional building height above 3.8 metres up to a maximum setback of 8 metres.
- 8. Despite (6) and (7), an allotment that has a rear boundary with a laneway may have a building line that abuts that boundary for up to 50 per cent of the length of that boundary.

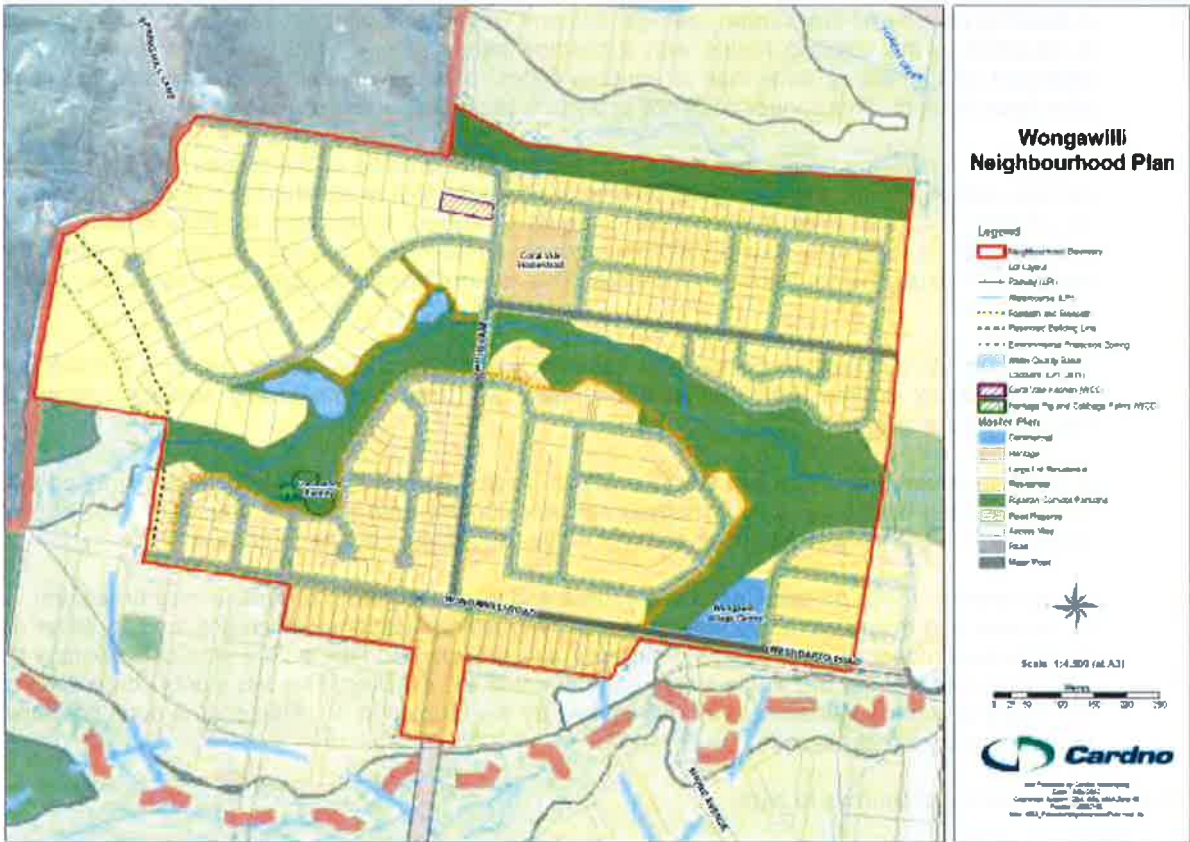
Chapter B2 Residential Subdivision – Section 13 Cut and Fill land reshaping works – does not apply to master planning of land and precinct subdivision applications.

5.3.2 Bong Bong Town Centre

Refer to Section 6.1.3.

5.3.3 Wongawilli - north

Figure 5.3.3.1 Wongawilli north Neighbourhood Plan

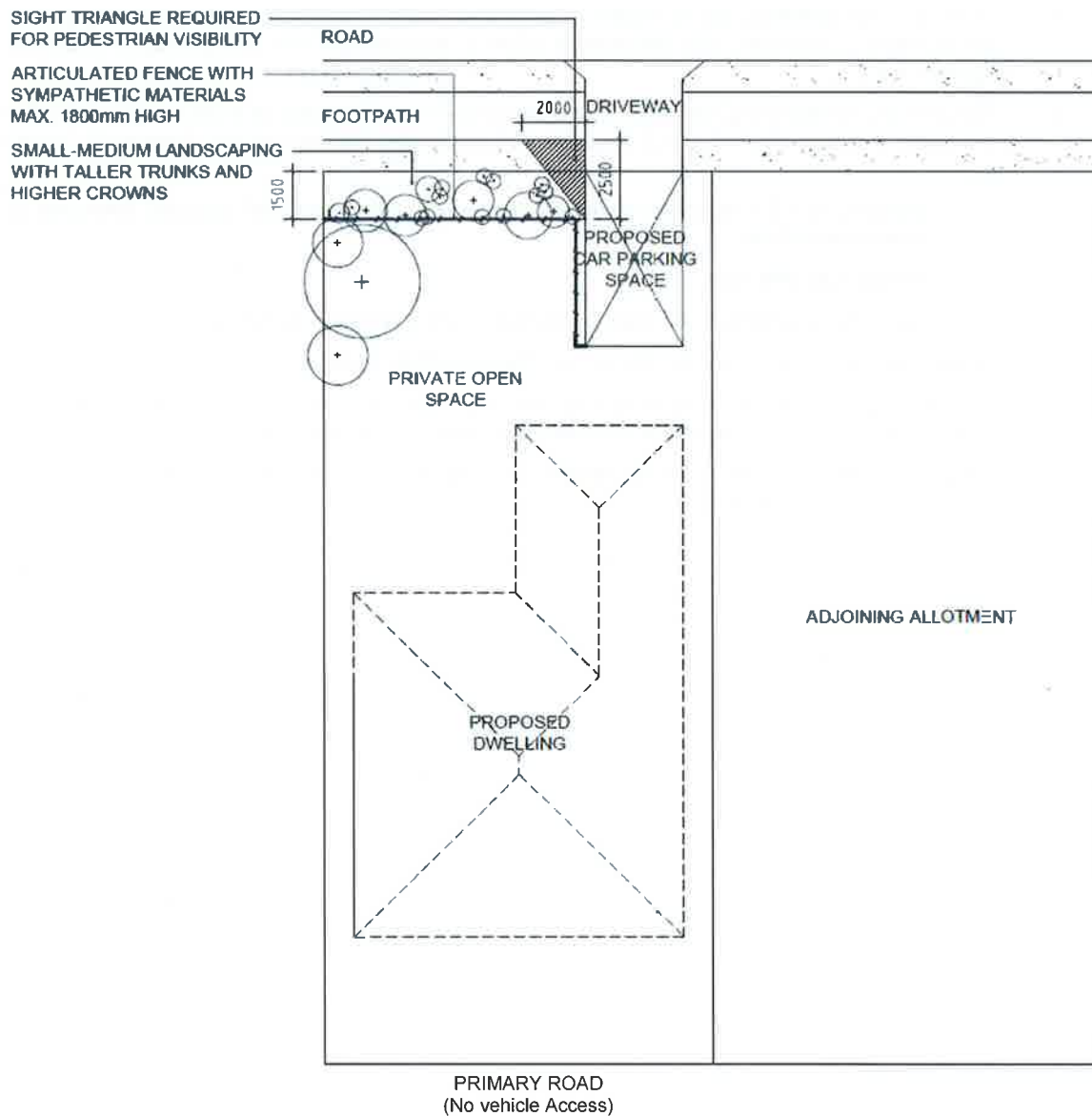


The following modified and additional controls to apply:

1. Minimum Lot width fronting Wongawilli Road and Smiths Lane of 15m;
2. Minimum front building line setback of 4.5m for all lots fronting Wongawilli Road and Smiths Lane;
3. The maximum length of cul-de-sacs that provide access to lots fronting Wongawilli Road Should not exceed 130m;
4. For Lots with a dual road frontage:
 - a. Wongawilli Road and Smiths Lane is considered to be the primary road frontage and the internal unnamed road is considered to be the secondary road frontage and the rear of the lots;
 - b. All dwellings must face, address and activate the primary road frontage of Wongawilli Road and Smiths Lane;

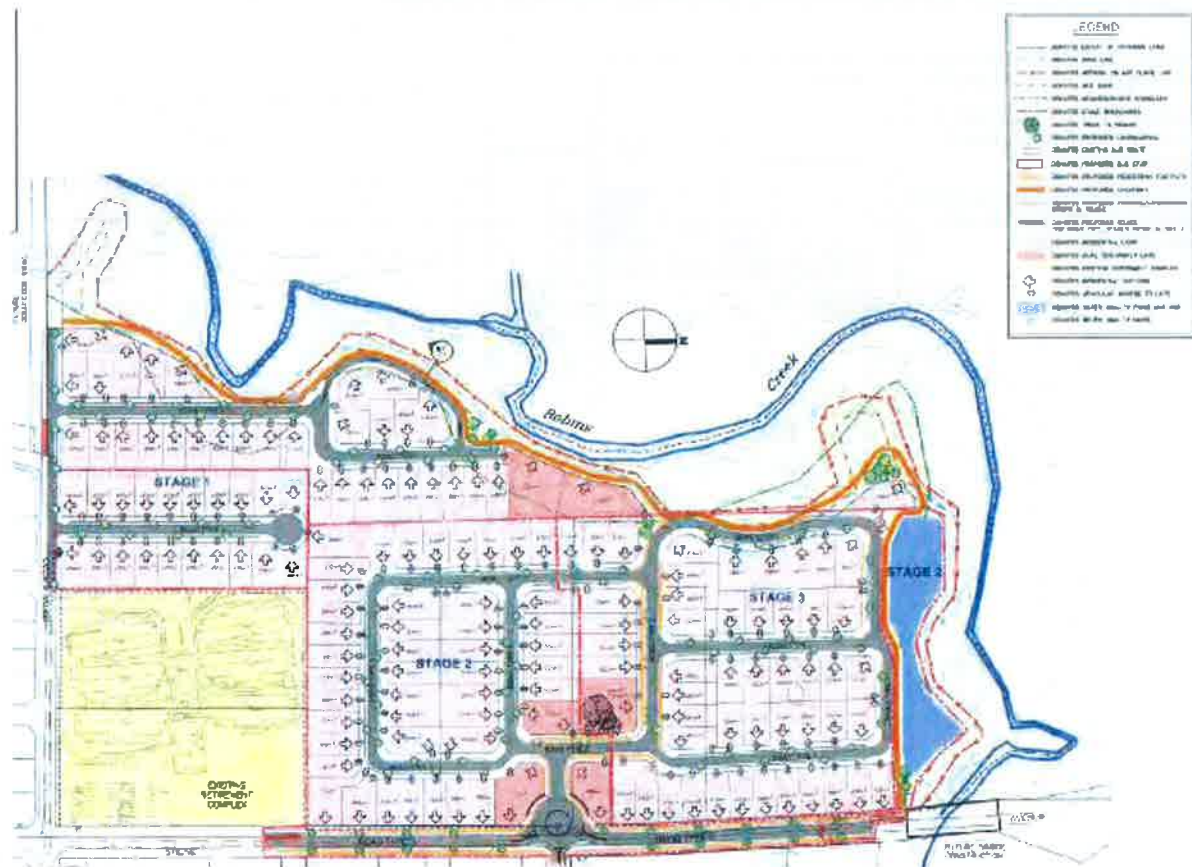
- c. Car ports or garages must be located and accessed from the secondary road frontage rear of the lots;
 - d. Minimum rear setbacks are to remain in accordance with Chapter B1, garages and carports are to have a minimum rear setback of 5.5m in accordance with the principles shown in figure 5.3.3.2;
 - e. Fencing and landscaping treatment of the secondary road frontage is in accordance with the principles shown in figure 5.3.3.2. Examples of Articulated fencing include, but are not limited to:
 - i. Masonry to 1.2m high with open type lattice or slates above with masonry elements no wider than 150mm;
 - ii. Timber Lap and Cap;
 - iii. Colourbond solid to 1.2m with Colourbond lattice style top sections.
5. For Lots backing onto or adjoining the Rural Fire Service (RFS) Property:
- a. Dwelling house, secondary dwelling and any habitable areas must be setback at least 10m from the rear or common property boundary that adjoins the RFS property;
 - b. Outbuildings and garages must be setback at least 5m from the rear of common boundary that adjoins the RFS property.

Figure 5.3.3.2 Dual frontage property secondary frontage treatment



5.3.4 Shone Avenue - south

Figure 5.3.4.1 Shone Avenue south Neighbourhood Plan

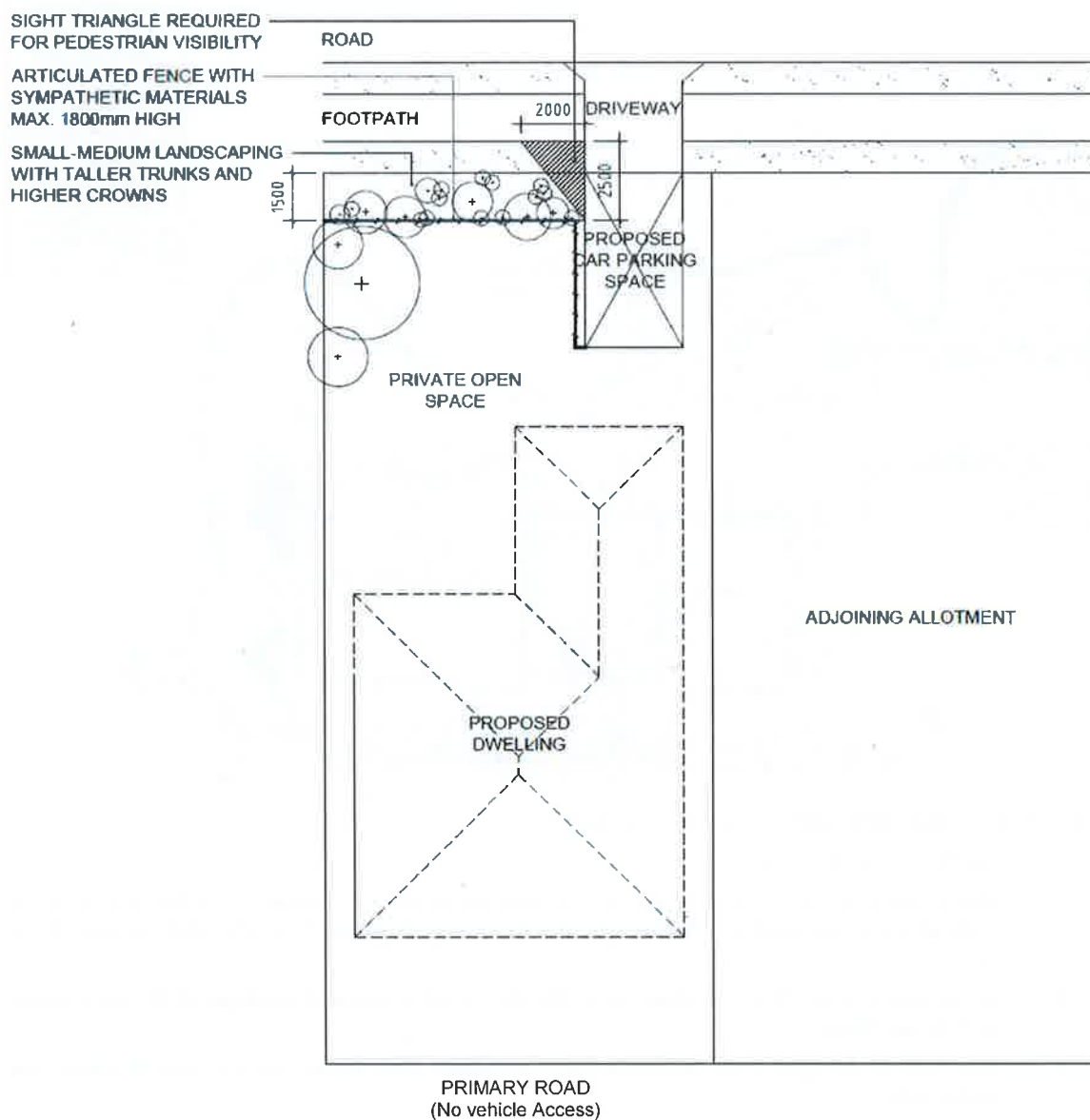


The following modified and additional controls to apply:

1. For Lots with a dual road frontage:
 - a. Shone Avenue and Iredell Road are considered to be the primary road frontage and the internal unnamed road is considered to be the secondary road frontage and the rear of the lots;
 - b. All dwellings must face, address and activate the primary road frontage of Shone Avenue and Iredell Road;
 - c. Car ports or garages must be located and accessed from the secondary road frontage rear of the lots;
 - d. Minimum rear setbacks are to remain in accordance with Chapter B1, garages and carports are to have a minimum rear setback of 5.5m in accordance with the principles shown in figure 5.3.4.2;
 - e. Fencing and landscaping treatment of the secondary road frontage is in accordance with the principles shown in figure 5.3.4.2. Examples of Articulated fencing include, but are not limited to:
 - i. Masonry to 1.2m high with open type lattice or slates above with masonry elements no wider than 150mm;
 - ii. Timber Lap and Cap;

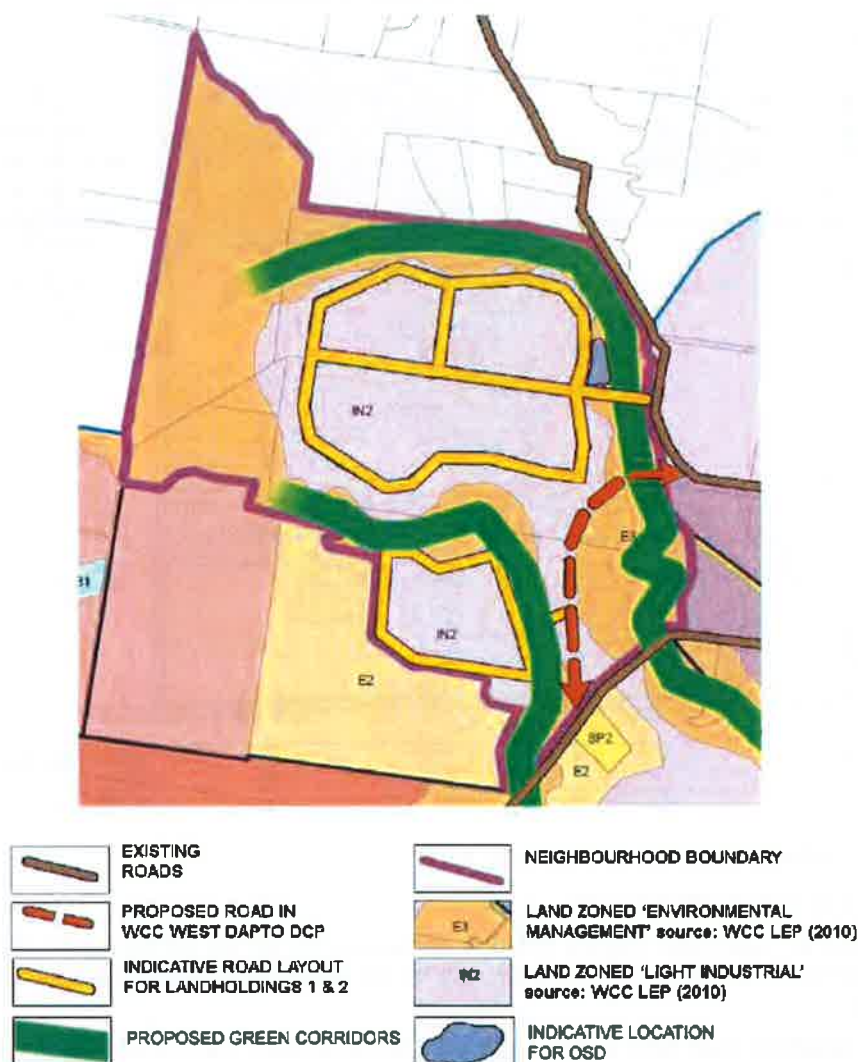
- iii. Colourbond solid to 1.2m with Colourbond lattice style top sections.

Figure 5.3.4.2 Dual frontage property secondary frontage treatment



5.3.5 Reddalls Road Industrial

Figure 5.3.5.1 Reddalls Road Industrial Neighbourhood Plan

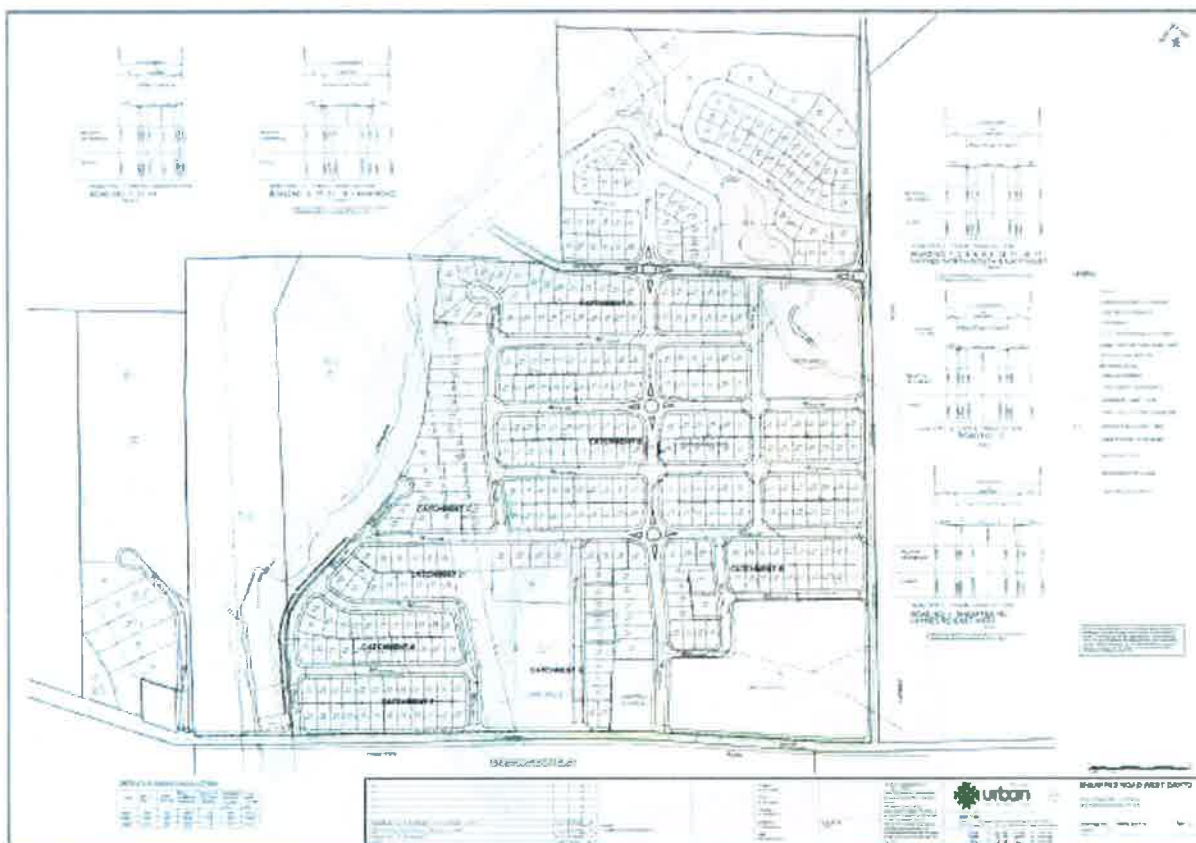


The following additional controls to apply:

1. The proposed cycleway must have adequate passive surveillance to ensure safety by design.
2. Indicative future bus stop locations should be identified and shown on road types capable of handling bus routes. A minimum number of stops should be located in a manner to ensure that the majority of lots are within 400 metres of a bus stop.
3. Any proposed development of the neighbourhood will require the applicant upgrading the relevant section of Reddalls Road to a standard that is suitable for the normal range of Heavy vehicles at no cost to Council. These upgrade works would also include any required intersection treatment to Reddalls Road and the new proposed Access Road as well as any necessary road safety works.

5.3.6 Sheaffes Road North

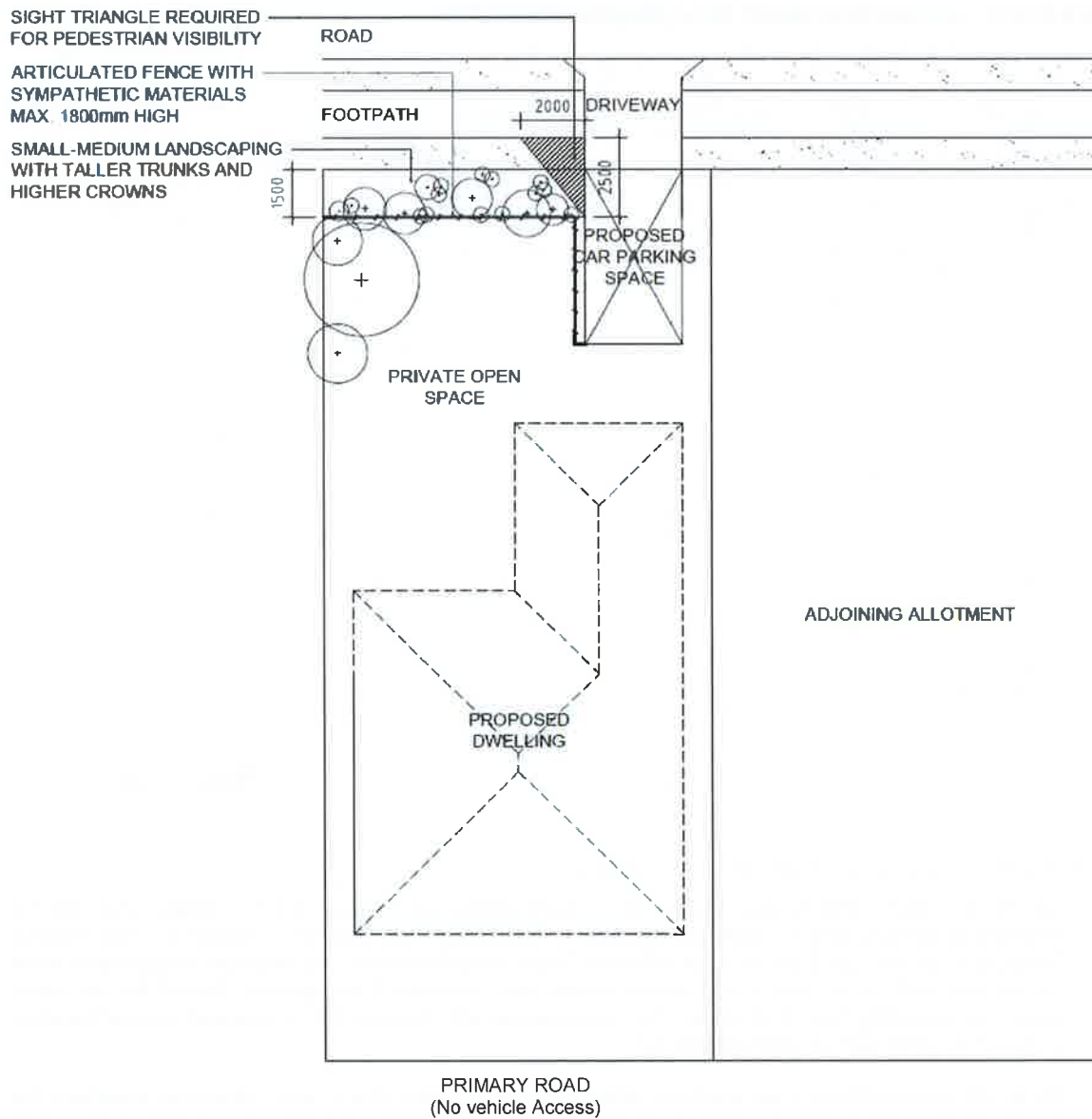
Figure 5.3.6.1 Sheaffes Road North Neighbourhood Plan



The following modified and additional controls to apply:

1. For Lots with a dual road frontage:
 - a. Sheaffes Road and Paynes Road is considered to be the primary road frontage and the internal unnamed road is considered to be the secondary road frontage and the rear of the lots;
 - b. All dwellings must face, address and activate the primary road frontage of Sheaffes Road and Paynes Road;
 - c. Car ports or garages must be located and accessed from the secondary road frontage rear of the lots;
 - d. Minimum rear setbacks are to remain in accordance with Chapter B1, garages and carports are to have a minimum rear setback of 5.5m in accordance with the principles shown in figure 5.3.6.2;
 - e. Fencing and landscaping treatment of the secondary road frontage is in accordance with the principles shown in figure 5.3.6.2. Examples of Articulated fencing include, but are not limited to:
 - iv. Masonry to 1.2m high with open type lattice or slates above with masonry elements no wider than 150mm;
 - v. Timber Lap and Cap;
 - vi. Colourbond solid to 1.2m with Colourbond lattice style top sections.

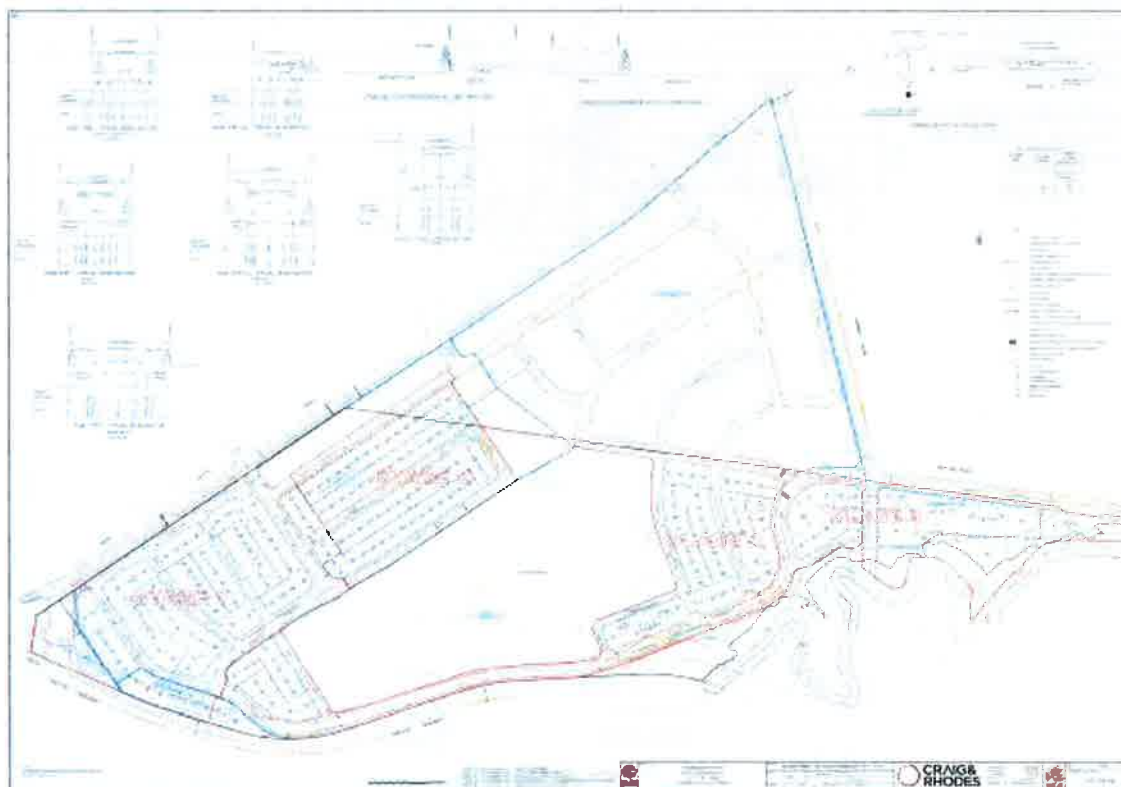
Figure 5.3.6.2 Dual frontage property secondary frontage treatment



5.3.7 Darkes Road South West

(NB: This Section 5.3.7 relies on finalisation of a separate Planning Proposal Process for amendment to minimum lot size and zoning.)

Figure 5.3.7.1 Darkes Road South West Neighbourhood Plan

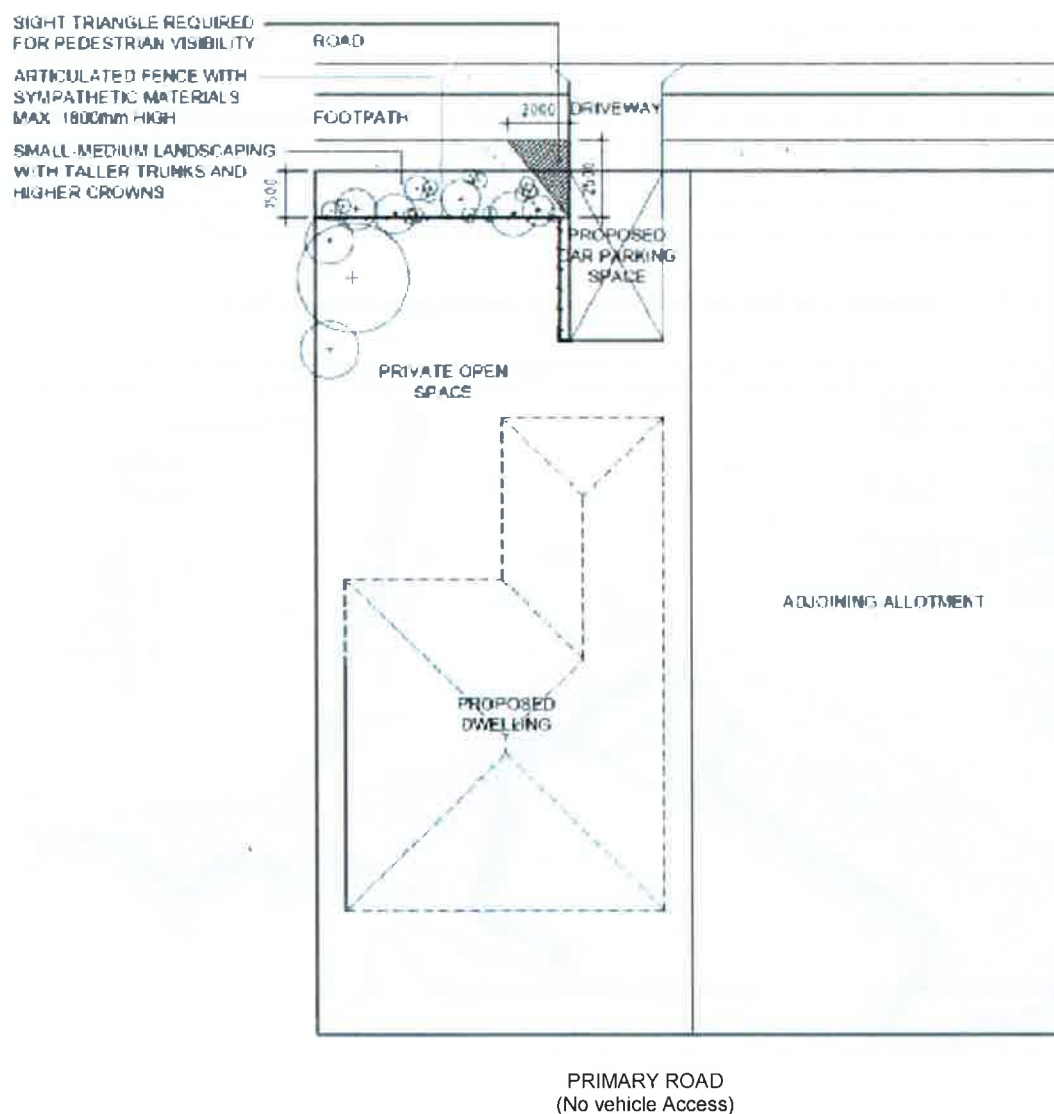


The following modified and additional controls to apply:

1. Lot Width, Depth and Aspect are to be in accordance with Figure 5.3.7.1 above and are not required to comply with Chapter B2 Section 6 Subdivision Lot Layout – Aspect & Solar Access Orientation as well as Section 8 Lot Width & Depth Requirements. The relevant issues have been considered and the lot layout and details shown are considered acceptable. Should the lot layout depart substantially from that shown then compliance with Chapter B2 is required unless variation is sought in accordance with Chapter A1.
2. On an allotment with an area less than 450m² and a lot width 10m or less, where an easement for access and maintenance as well as driveway crossing locations (which are located so as not to adversely impact on-street parking capacity) are provided on title, a zero side setback may be applied to one side for the single storey component of the dwelling. The two storey component of the dwelling is to be setback further as required by the formula in (2). This control does not apply to a secondary street frontage.
3. For Lots with a dual road frontage:
 - a. West Dapto Road and Darkes Road is considered to be the primary road frontage and the internal unnamed road is considered to be the secondary road frontage and the rear of the lots;

- b. All dwellings must face, address and activate the primary road frontage of West Dapto Road and Darkes Road;
- c. Car ports or garages must be located and accessed from the secondary road frontage rear of the lots;
- d. Minimum rear setbacks are to remain in accordance with Chapter B1, garages and carports are to have a minimum rear setback of 5.5m in accordance with the principles shown in figure 5.3.7.2 below;
- e. Fencing and landscaping treatment of the secondary road frontage is in accordance with the principles shown in figure 5.3.7.2. Examples of Articulated fencing include, but are not limited to:
 - vii. Masonry to 1.2m high with open type lattice or slates above with masonry elements no wider than 150mm;
 - viii. Timber Lap and Cap;
 - ix. Colourbond solid to 1.2m with Colourbond lattice style top sections.

Figure 5.3.7.2 Dual frontage property secondary frontage treatment

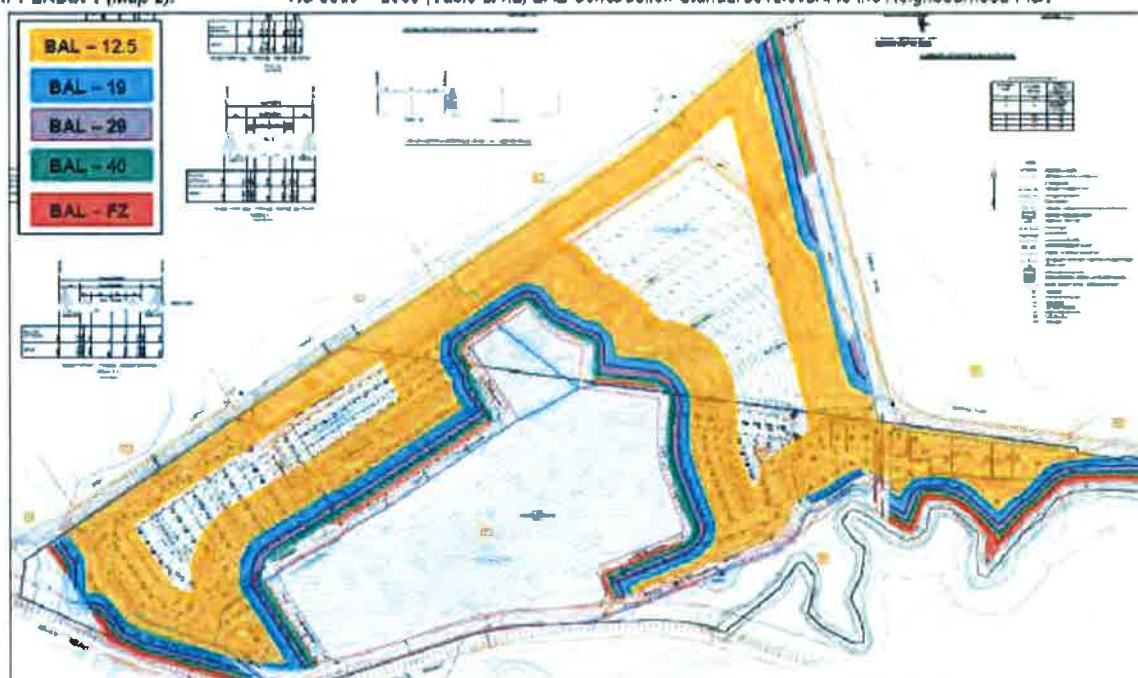


4. For all development applications outside of the area denoted as Stage 1:
 - a. An Aboriginal Heritage Assessment is to be undertaken in accordance with the Wollongong Development Control Plan 2009 Chapter E10
 - b. Additional archaeological investigations are required to be undertaken to the previously recorded archaeological sites and three (3) potential archaeological deposits (PADs) identified. This work is required in order to better determine the significance and extents of these areas.
 - c. In-principle support for the intended mitigation or Aboriginal Heritage Impact Permit (AHIP) proposals is to be gained from the NSW Office of Environment and Heritage (OEH) prior to the determination of the associated development application.
 - d. Further consultation with Local Aboriginal Groups is to be undertaken within the assessment of any future Development Applications.
 - e. Consideration of the impacts of the proposal on identified Non-Indigenous Archaeological Deposits located on the site during the preparation of the Heritage reports and which are subject to Section 140 of the NSW Heritage Act 1977.
 - f. Conservation planning related to any retained structures or features on the site (e.g. The Silo and gardens).
 - g. Interpretation planning relating to the history and heritage significance of the development area.
5. Bushfire Matters
 - a. Certain construction standards apply for development on Bushfire Prone Land. The applicable Construction Standards for proposed development are to reflect the Bushfire Attack Level (BAL) as identified at Figure 5.3.7.3 below.
 - b. Given that the site is identified as Bush Fire Prone Land, when a development application for subdivision is made, the development will require a Bush Fire Safety Authority to be issued by the NSW RFS under Section 100B of the Rural Fires Act 1997. The RFS has indicated that it is likely that by condition of the Bush Fire Safety Authority, restriction on the titles of the lots requiring the provision and maintenance of the necessary APZ's will be required.

Figure 5.3.7.3 BAL Construction Standards relevant to the Neighbourhood Plan

APPENDIX 1 (Map 2):

AS 3959 – 2009 (Table 2.4.2) BAL Construction Standards relevant to the Neighbourhood Plan



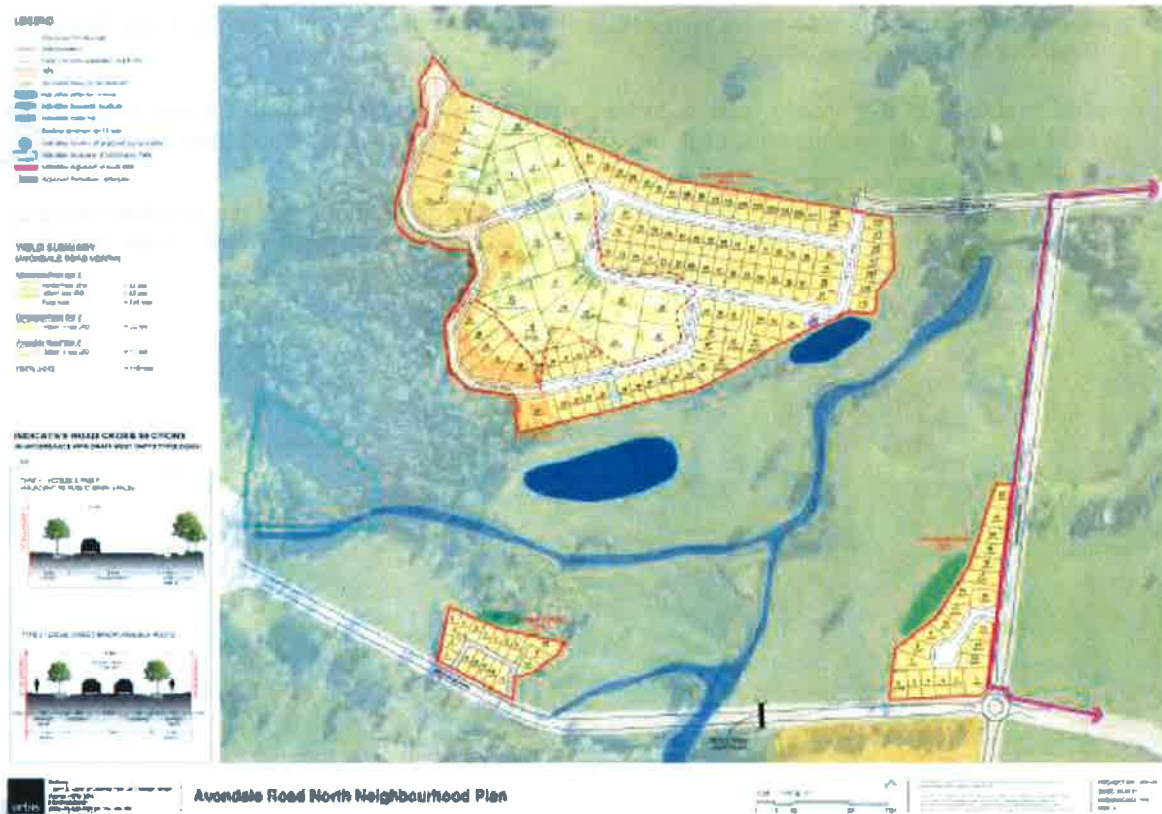
6. Access

- a. An appropriate access track is to be provided to the Detention Basin A1 to facilitate sufficient maintenance access for Council.
- b. Appropriate access is also to be provided to the Wongawilli Rail Spur Line from the Detention Basin A1 and from Road 01.
- c. The final form of the access track is to be determined in conjunction with Council Engineering Officers within the assessment of future Development Applications. Hardstand access will be required.

7. There may be scope to amend the current Council Drainage Acquisition Maps to reflect more up to date flood mapping of the area. This is to be further investigated within future Voluntary Planning Agreements (VPAs) and assessment of Development Applications.

5.3.8 Avondale Road North, Huntley

Figure 5.8.1 Avondale Road North, Huntley Neighbourhood Plan



5.3.9 Shone Avenue / West Dapto Road

Figure 5.3.9.1 Shone Avenue and West Dapto Road Neighbourhood Plan



The following modified and additional controls apply:

1. For Lots with a dual road frontage:

- Shone Avenue is considered to be the primary road frontage and the internal unnamed road is considered to be the secondary road frontage and the rear of the lots;
- All dwellings must face, address and activate the primary street frontage of Shone Avenue – this is the main address of the dwelling;
- The minimum front setback on Shone Avenue is 4m (being a greenfield site) and the minimum setback from the secondary road is 4m;
- No car access to residential lots is permitted from Shone Avenue (ie lots are access denied). Carports or garages must be located and accessed from the secondary road frontage rear of the lots;
- Garages and carports must be setback a minimum of 5.5 metres from the property boundary on the secondary road to enable a vehicle to park or stand in front of the garage or carport (ie allow off street parking that does not impede the footpath) and in order to be a non dominant component of the streetscape;
- Fencing controls for the primary street frontage of Shone Avenue are outlined in Chapter B1: Residential Development and are designed to complement the objectives of passive surveillance;

- g. Fencing and landscaping treatment of the secondary road frontage must ensure that clear lines of sight are maintained for motorists and pedestrians to and from the lot, and ensure the design complements the objectives of passive surveillance. To help soften the visual impact and improve the streetscape appearance of the fence, and allow visual connection between the dwelling and the street, any fence will be required to be well articulated and landscaped with appropriate planting. Articulated fencing should be provided to a maximum height of 1.8 metres. Examples of articulated fencing include, but are not limited to:
- i. Masonry to 1.2m high with open type lattice or slates above with masonry elements no wider than 150mm;
 - ii. Timber Lap and Cap;
 - iii. Colourbond solid to 1.2m with Colourbond lattice style top sections.

NB. Fences in bush fire prone areas shall be of a metal or masonry construction only.

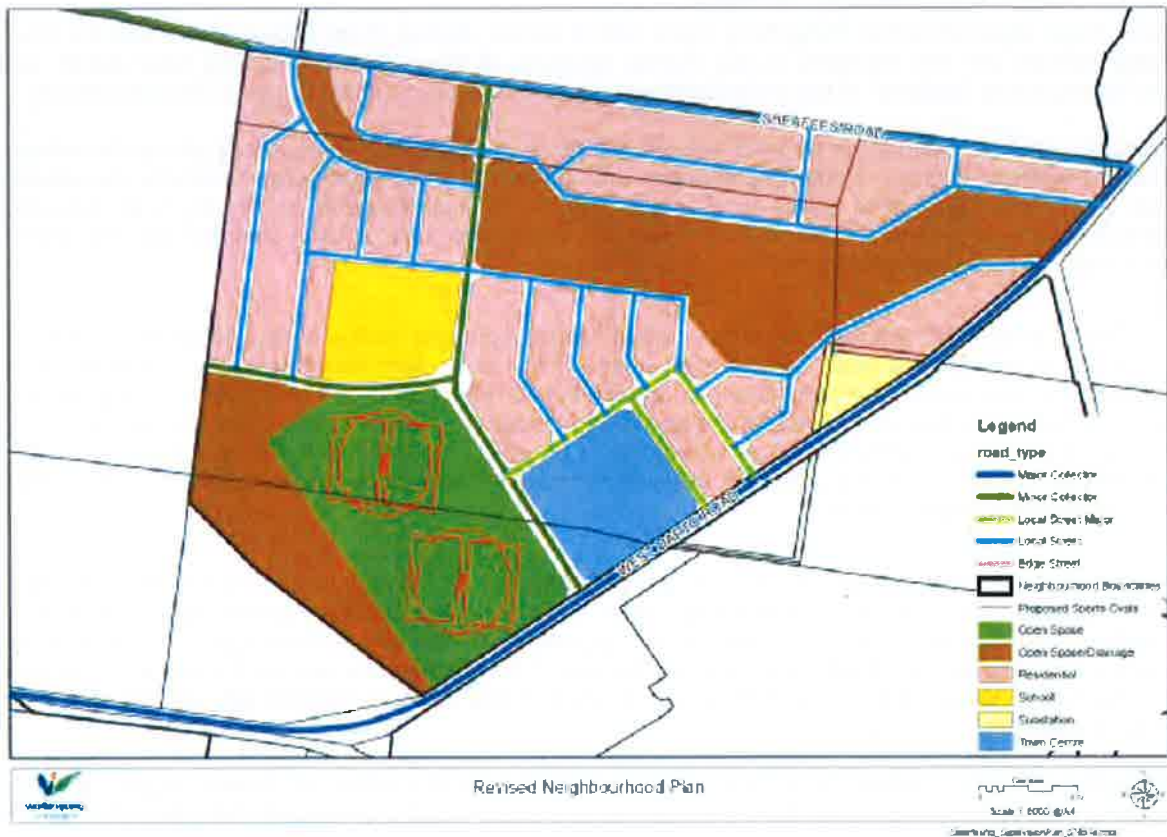
- h. Any gates associated with the secondary street fence should open inwards so as to not obstruct the road reserve
- i. Where garage door openings face the secondary road they shall be a maximum of 50% of the width of the dwelling. Refer to Chapter B1: Residential Development for other car parking and access controls.

2. For Lots backing onto West Dapto Road:

- a. An acoustic building exclusion zone of 25 metres applies along the length of the rail corridor to reflect Noise Report recommendations;
- b. A sound wall is to be erected by the developer along the length of the rail corridor, as indicated in the Neighbourhood Plan.

5.3.10 West Dapto Road / Sheaffes Road (south)

Figure 5.3.10.1 West Dapto Road / Sheaffes Road (south) Neighbourhood Plan



6 DEVELOPMENT CONTROLS

6.1 Town Centres

6.1.1 Town Centres and Villages

Dapto major regional centre, Bong Bong Road district centre, Darkes Road village centre and the three village centres are key elements in the overall structure of West Dapto, providing focal points and contributing to the “legibility” of the urban framework, particularly as important nodes in the bus network.

A district centre (~15,000m²) is planned within the central western (Bong Bong Road) part of the release area and a village centre (~7,500m²) planned in the northern (Darkes Road) area to service the release area. These are intended to create local retail, business, commercial and community hubs providing significant local employment opportunities. They will complement rather than compete with the higher order major regional centre of Dapto.

The Town Centres will form the most urban parts of West Dapto and have a variety of building typologies with urban characteristics such as increased height, minimal or zero street setbacks and street level awnings and verandahs. The public domain is intended to reflect an urban character, with high quality hard and soft landscape and paved footpaths with advanced planting of shade trees. Parking will be at the rear of blocks and underground as well as good on street provision of kerbside parking – building setbacks to accommodate front parking lots will not be permissible, as these detract from the street qualities sought in these centres.

In addition three small village centres are planned (Wongawilli, Avondale and Yallah) to meet local shopping needs. They are to comprise a few local shops (like the existing Horsley shops), as well as providing opportunities for local business, a bus stop, community facilities such as a primary school and a choice of housing types. These would take on the role of the local centre and be the focus for the new communities at West Dapto in addition to convenience stores to be co-located with service stations if demand requires.

Controls for Neighbourhood Plans must give consideration to the ability to develop adjoining areas including linkages to those areas. New town centres are encouraged to prepare a Workplace Travel Plan and Travel Access Guides.

Objectives:

- (a) To ensure that the residents of West Dapto have access to well designed, attractive town and village centres which act as retail, business, commercial and community hubs consistent with the overall centre hierarchy for West Dapto.

Controls:

1. Development Applications for the development of including town centres are to be consistent with the matters contained in sections 5.1, 5.2, 5.3 and 6 of this chapter in relation to centres.

6.1.2 Design Principles

Town Centres are to be designed to comply with the following principles:

1. Establish streets with at least two storey buildings where possible. Taller buildings of 4-6 stories are encourage in the core of the town centre.
2. Active retail street frontages are encourage. Upper floors can be commercial or residential uses.

3. Create a lively mix of uses within the centres, providing opportunities for employment, commerce, retailing, living, entertainment and community activities
4. Early stages of development are likely to focus on Supermarket and associated small specialty shops, therefore these should be designed as complete compositions which create places within their own right
5. Buildings are to present urban characteristics to the street in relation to setback, form and streetscape/building design.
6. Residential densities in and around the centres are to be increased in line with density requirements at Section 2.3.1 in order to create a choice of housing opportunity within the West Dapto development area at locations with high amenity which are well serviced
7. Parking lots and areas are generally not to be visible from the streets, allowing built form to perform its correct street defining urban function.
8. Establish a high quality, high value public domain with strongly urban characteristics and design.

6.1.3 Bong Bong Town Centre

In the area where Bong Bong Road adjoins the north-south arterial route a new district town centre is to be established, based on a north-south running main street. The Bong Bong Town Centre is to be the primary town centre in the release area being centrally located and at a greater distance to Dapto Town centre than the proposed Darkes Road Town Centre. The Bong Bong Town Centre is to be a supermarket based centre with a range of shops and would accommodate around 15,000m² of retail floor space.

Figure 6.1 Bong Bong Town Centre – Conceptual layout



6.1.4 Darkes Road Town Centre

Along West Dapto Road a smaller secondary town centre (large village centre) is to be established based on the east–west route becoming a main street. While activity in terms of residential and business use is expected along the length of the centre, only the core part will contain the primary retail and commercial functions. It is envisaged that this centre would accommodate around 6,000m² of retail floor space to support the employment lands.

Figure 6.2 Darkes Road Town Centre – Conceptual layout

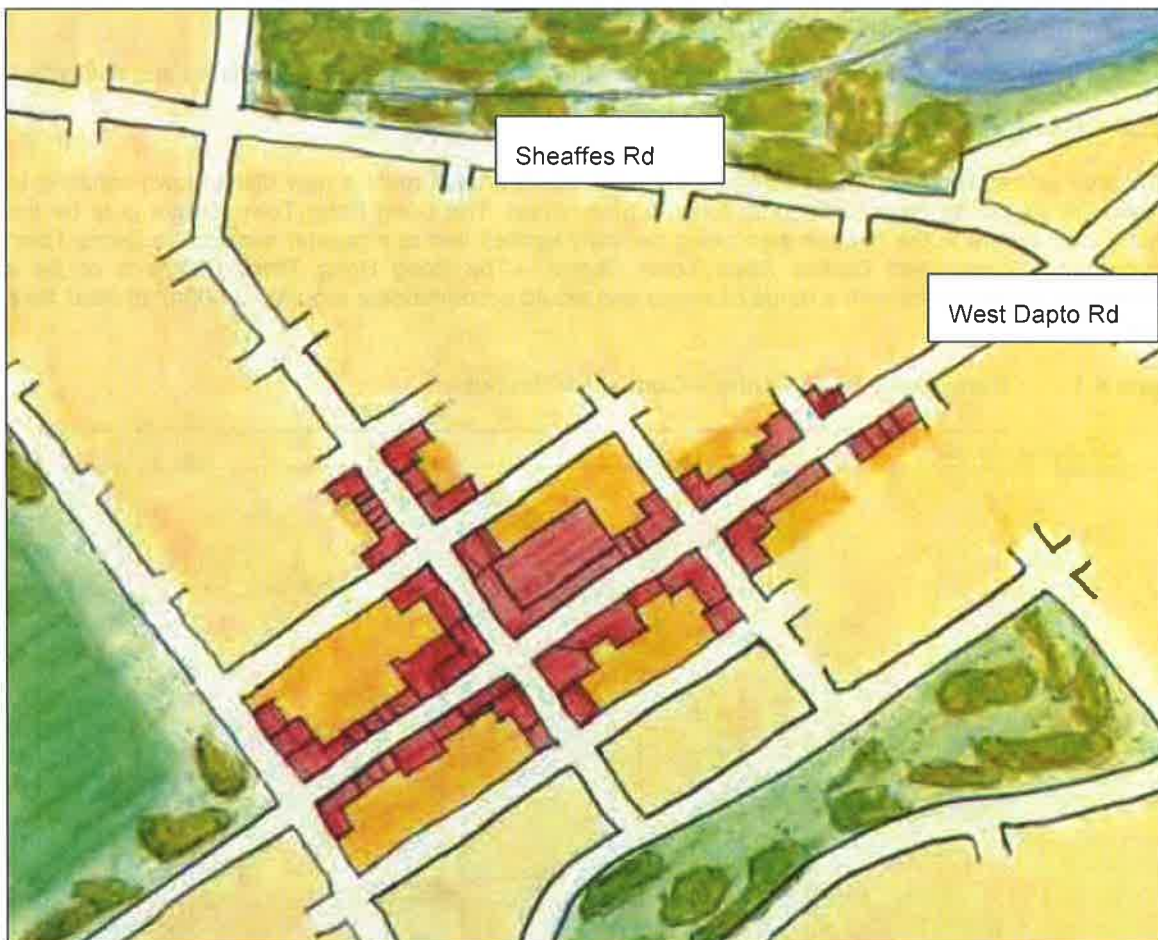


Figure 6.3 Darkes Road Town Centre – Conceptual Cross section

6.1.5 Development Controls

Development in the Town Centres is to comply with the following development controls:

1. Taller buildings of 4-6 stories are encouraged in the core of the town centre. Lower scale buildings up to 3 stories in height should surround and support the in the centre core.
2. The street wall height should have a 2-3 storey building form.
3. Single storey buildings should have a 2 storey front façade.
4. Building setbacks on main streets to be nil (zero) while other streets are generally to have a setback of between 0 – 2.5 m.
5. Side and rear building setbacks are as follows:

Setback	Distance
Side	Zero
Rear	Zero where adjoins allotment zoned B2 Local Centre or 5-6m where adjoins allotment zone R3 Medium Density Residential

6. No requirements for on site open space / landscaping in the 'core' area.
7. Provision of a shared parking facilities area is encouraged with access via laneways of minor streets.

6.2 Village Centres / Local Nodes

Three small villages are proposed totalling ~7,500m² of floor space possibly at Wongawilli, Avondale and Yallah. These, in addition to 2,000m² spread through the release area in convenience stores attached to petrol stations and the like, will cater for local convenience shopping throughout the release area.

Village and local centres are to develop as localised business and higher density residential opportunities at key places / intersections where bus stops, community facilities and local open space come together to create an urban focal point for the local community.

Figure 6.4 Wongawilli Village Centre – Conceptual design



6.2.1 Design Principles

1. Establish a strong urban form that clearly distinguishes the village centre / local node from surrounding areas.
2. Create a lively mix of uses and building types within the village centre / local node that creates the opportunity to meet the daily convenience needs of surrounding communities. Village centres should accommodate a 1,000-1,500m² supermarket and variety shops.
3. Parking lots and areas are generally not to be visible from the streets, allowing built form to perform a clearly street defining urban function.
4. Positive Interface with the street and activation of the street is important.
5. Establish a high quality, high value public domain with strongly urban characteristics and design.
6. Ensure a focus on amenity taking into consideration factors such as prevailing winds, shade and shelter. Ensure positive interface with any adjacent open space or water body as an attractive feature.

6.2.2 Development Controls

1. Building setbacks can be either street aligned (zero) or setback up to 5m to create commercial forecourts or residential courts to the street.
2. Variation of setback is encouraged to create an informal organic character.
3. Building height of up to 2 storeys is encouraged to create an urban village character with upper floor uses including small scale commercial and residential developments.
4. Parking to be provided at the rear of buildings in the form of rear laneways and parking areas accessed from the rear laneways / car courts.
5. All shops should address street and be entered by front from the major street where possible or secondary street.
6. Size of shops is limited to 1500m².

7. Community congregation areas to be north facing and where possible take advantage of escarpment views.
8. Major and Secondary street parking to be maximised.

6.3 General Development Controls

Development controls in this chapter are closely linked with and cross reference other chapters of the Wollongong Comprehensive Development Control Plans.

Development controls applying to development in the West Dapto Urban Release Area should also address the following chapters:

- E1: Access for People with Disability
- E2: Crime Prevention through Environmental Design (CPTED).
- E6: Landscaping
- E16: Bush Fire Management

Variation control – Bushfire Management Activities should not occur in land zoned E2 Environmental Conservation which aim to protect Endangered Ecological Communities or significant bushland. Bushfire Management Activities can occur within the floodplain and riparian land management areas, to maximise residential development in the Residential zones for West Dapto.

- E20: Contamination
- E22: Erosion and Sediment Control

6.3.1 Flora and fauna

Environment Protection Areas

The intrinsic West Dapto environment has formed the basis for the creation of a new urban structure and a backdrop to the creation of new communities. Areas of sensitivity have been included in environmental protection zones and will be subject to stringent development controls with rigorous controls applying in the most sensitive areas.

Areas of highest sensitivity have been, or will be in future stages, zoned Environment Conservation with minimal development allowed in these areas. This includes the main development interfaces with the escarpment on the western edge of the release area and interfaces with the predominantly west-east running creek corridors. Environment Conservation land will form a transitional development edge with lower densities of development adjacent to these areas. Increased opportunity for planting will be accommodated to complement the wooded slopes and riparian corridors.

Areas which have high conservation values and where revegetation and ongoing management is required have been, or will be, zoned Environment Management. Limited compatible development is allowed in these areas.

Areas of lesser environmental significance, but which still require sensitive design and siting have been, or will be, included in the Environmental Living zone. In these areas residential development will be allowed but on large lots and having regard to environmental criteria.

Elsewhere, areas of significant remnant vegetation will be conserved and enhanced and incorporated into the open space network as areas for passive recreation.

1. Refer to Chapter E17: Preservation and Management of Trees and Vegetation, Chapter E18: Threatened Species.

6.3.2 Indigenous and European Heritage

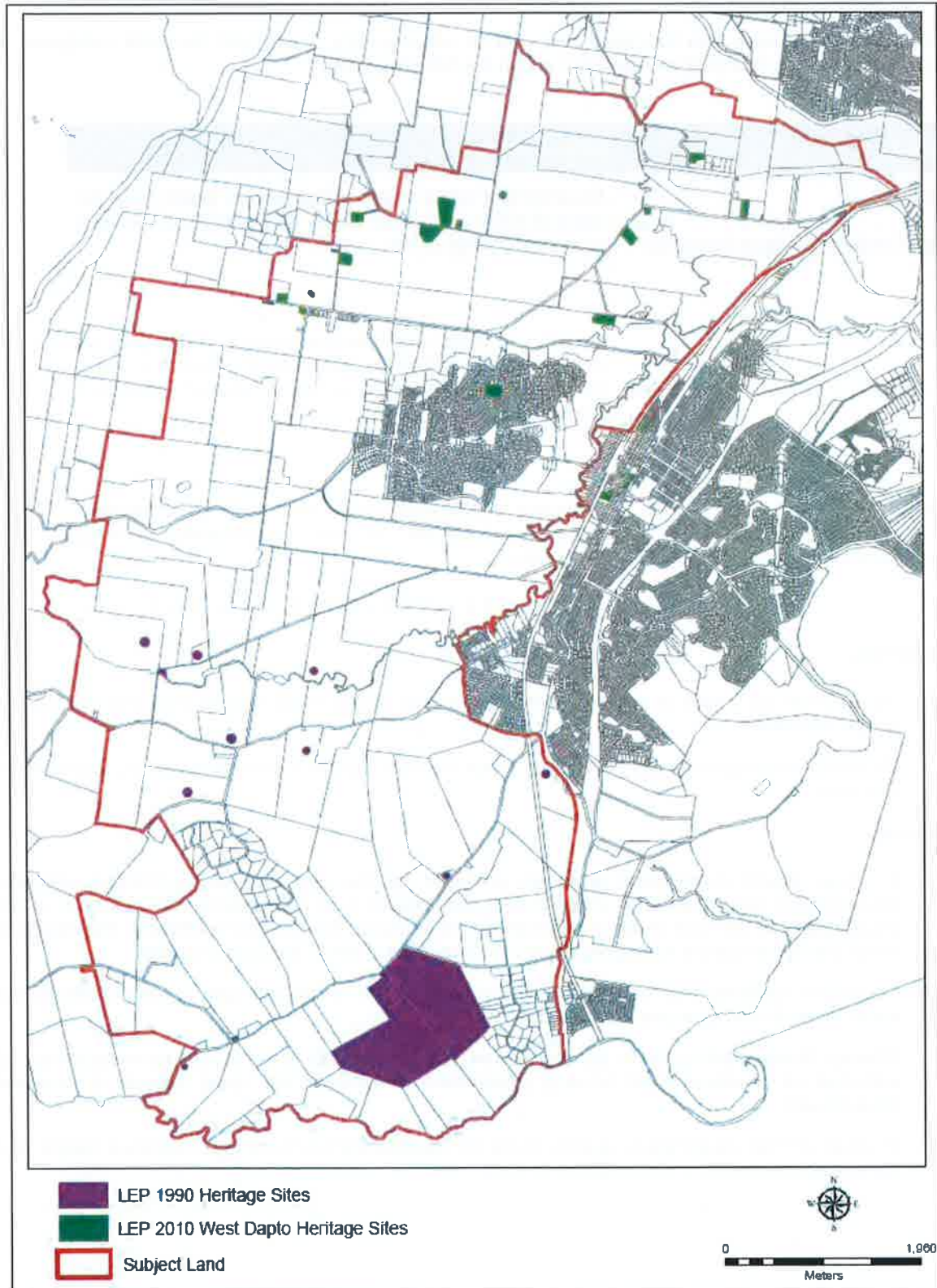
Heritage

The West Dapto area has strong links to the past, both in the recent history of pastoralism and mining, and the prehistoric and post-contact Aboriginal occupation of the coastal hinterland. As well as the presence of known archaeological sites within the study area, the coastal floodplain has been identified as having potential to demonstrate further archaeological evidence of Aboriginal occupation.

This chapter aims to conserve the heritage significance of West Dapto. The identification of heritage items has been factored in to the formulation of the development structure. As a result, a number of heritage items are identified to be retained in the future development of West Dapto and have been identified as items of environmental heritage under West Dapto LEP. These have been selected for their level of significance, physical condition and integrity, contribution to the cultural landscape and character of the area, interpretive value and ability to represent a key historic theme. Figure 4.7 identifies relevant items within the West Dapto Release area. In addition to the statutory controls contained under the LEP this DCP contains requirements in relation to these items.

1. Refer to Chapter E10: Aboriginal Heritage for specific controls relating to Aboriginal Heritage.
2. Refer to Chapter E11: Heritage Conservation, "NSW Heritage Manual" and the heritage provisions of West Dapto LEP.

Figure 6.4 Heritage Map



6.3.3 Views and Vistas

Land within the release area has been assessed for visual quality. Land falls into three categories of visual sensitivity, as indicated on Figure 6.5 and in the following table:

Zone	Objective
Zone A: High Concern for Visual Resource	Development within areas of high scenic quality must be sympathetic to that visual quality as the ability of the area to absorb change is low.
Zone B: Moderate Concern for Visual Resource	Changes to landforms, final contouring and revegetation programs will significantly contribute to reduce the visual impact and therefore must be minimised wherever possible.
Zone C: Low Concern for Visual Resource	Proposed development within this zone should remain visually subordinate to the characteristic existing landscape (note figure 6.5 does not show any land as Zone C)

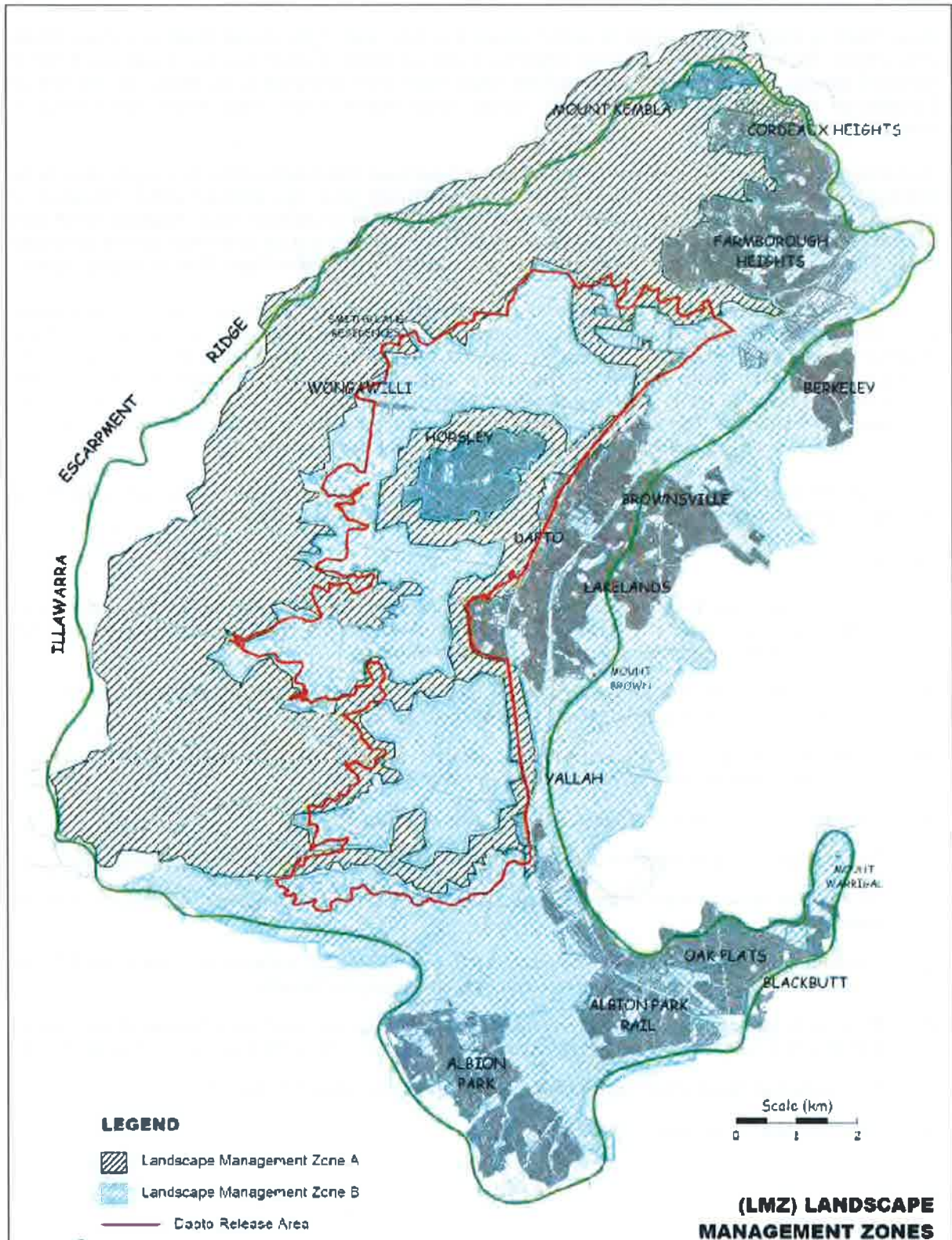
Objectives:

- (a) To minimise the impact of development on the scenic quality of the release area and surrounding visual catchment.
- (b) To ensure development within the visual zones identified above is consistent with the objective for that zone.

Controls:

1. A visual impact assessment is to be prepared by the applicant and submitted with any Development Application. The visual impact assessment is to demonstrate how retention of the visual quality of the area in which development is proposed has been considered in the design of the proposal particularly having regard to the visual zone in which the land is located.
2. Subdivision patterns and road layouts are to have regard to the retention of view corridors and vistas through, and to, areas of high scenic quality.
3. Primary Street planting is to be undertaken and established prior to the commencement of individual lot development or housing construction to minimise the visual impacts of proposed development.
4. In areas of high visual scenic quality (Zone A), development is to have a maximum height of 2 storeys and a maximum site coverage of 50%.

Figure 6.5 Views and Vistas



6.3.4 Water Management

West Dapto is bisected by a series of watercourses that form part of the Mullet Creek and Duck Creek catchments. During heavy rain they can experience intense floods of short duration (rapid rise & fall of the creek levels). The residential areas of West Dapto have been designed to be above the 1% Annual Exceedence Probability (AEP) flood level. Larger flood events could occur which could result in inundation in residential areas.

To manage the increase in runoff due to increased hard surfaces, Stormwater detention is proposed to be managed within Neighbourhood planning precincts which will take into account either individual or multiple Mullet Creek sub catchments to reflect existing conditions. In addition, each neighbourhood plan will need to address water quality requirements which may or may not be a function of the proposed basin. The location of each basin will be determined as part of the Neighbourhood Plan for each precinct.

To support the neighbourhood planning process in achieving an efficient stormwater system and address the potential inequity (that only some not all land owners within a Neighbourhood precinct will lose potential developable land area) Council will provide section 94 contributions funding. This will be equivalent to the land value for approved detention basins constructed in accordance with approved Neighbourhood plans or within individual developments considered sufficiently large enough to warrant their own detention basin. The funding is available provided that the location and design of the individual basin is not done so to the detriment of the applicable Neighbourhood precinct.

To provide for long term drainage management, Council will acquire the watercourses and provide for enhanced storage areas as sites are developed, through the section 94 contributions.

Objectives:

- (a) To create a network of interconnected multi-functional creek corridors within the West Dapto release area which act as creeks, flood ways, flora and fauna habitat, water quality treatment areas, cyclist and pedestrian access, and drainage corridors.
- (b) To conserve and restore remnant native vegetation along creek lines, escarpment vegetation to provide linkages and "stepping stones" for wildlife movement.
- (c) To introduce wildlife corridors and establish riparian vegetation within natural creeklines, providing a functioning habitat for birds, fish and diverse native flora.
- (d) To protect and restore a range of aquatic habitats within the creeks.
- (e) To enhance long-term environmental protection of the receiving waters and Lake Illawarra.
- (f) To facilitate the provision of an integrated approach to Water Management development within West Dapto.
- (g) To ensure the integration of various functions into the multiple use drainage systems of West Dapto to achieve aesthetic, recreational, environmental and economic benefits.
- (h) To provide appropriate landscape treatments that enhance the required functions of the riparian corridors and reduce the impact of utilitarian drainage structures on the amenity of the open space.
- (i) To ensure that development is designed to minimise the risk posed by flooding.
- (j) To protect the environment of Lake Illawarra.

Controls:

1. A water cycle management report is to be submitted with Development Applications for subdivision in accordance with the Water Cycle Management Study (URS, 2004) and the Floodplain Risk Management Study and Plan (Bewsher Consulting, 2006). The report must address water cycle management, water quality management, watercourse and corridor management, conservation and rehabilitation of aquatic habitat, and floodplain management. It must also address the requirements of the NSW Department of Environment, Climate Change and Water (DECCW).
2. Land that remains below the 1% AEP flood level after flood management works, approved by the consent authority, is not suitable for urban development.
3. Subdivision of land is not to create any additional flood affected residential allotments. A flood affect allotment is defined as being wholly or partly below the Flood Planning Level (FPL) (i.e. the 1% AEP flood level plus a freeboard of 500mm).
4. There is to be no net removal of flood plain storage capacity.
5. Residential dwellings are to be located clear of the effect of the FPL with floor levels above the FPL (i.e. the 1% AEP flood level plus a freeboard of 500mm).
6. Subdivisions are to be design according to Water Sensitive Urban Design principles. Development applications are to include a statement indicating how the proposed design complies with these principles. Refer to Chapter E15: Water Sensitive Urban Design.
7. Detention basins are required for each sub-catchment to control the increase in runoff. Consideration will be given to proposals for larger basins that serve multiple sub-catchments or other innovative design. The location of basins needs to be agreed to by adjoining land owners as part the Neighbourhood Plan. Where a basin is on an adjoining property, owners consent and the creation of an easement is required. The design of detention basins shall enable the colonisation by native fish species moving upstream from Mullet and Duck Creeks.
8. Refer to Chapter E13: Floodplain Management and Chapter E14: Stormwater Management for additional controls relating to floodplain and stormwater management.

Note: Flood events may be larger that the Flood Planning Level of 1% AEP which may impact on properties and dwellings.

6.3.5 Riparian Corridors

Open Space and Riparian Corridors

West Dapto is dissected by fast flowing creeks and extensive areas of flood prone land. These areas are not suitable for residential development but instead offer an opportunity for recreation, visual separation and conservation. The corridors will result in significant amounts of open space creating wider landscapes within easy reach of all parts of the new development areas, meaning walking, cycling, recreation and nature will form a part of daily life. These riparian corridors have been, or will be, zoned for Environment Protection with limited development being allowed in these areas.

Adjacent to this land certain land is, or will be, zoned Rural Landscape. The intention of these areas is to provide a buffer to the riparian corridors where the land is either not suitable for residential development or has environmental values. The outdoor recreational facilities will be located outside of the core riparian area to protect the environmental values.

Open space is to be provided throughout the development area in the form of local parks and district parks for primarily passive recreation, larger formal areas for active recreation, environmental reserves of retained bushland habitats, and riparian corridors which link the escarpment to the wide floodplains. These will be combined with avenues of intensive planting and water management running through the urban street pattern to create a connected web of open space. This will encourage walking and create a sense of nature interacting with urbanity.

Existing parks and recreational facilities have been zoned through the LEP and new parks will be designed into new neighbourhoods.

To provide for long term drainage management, Council will acquire the main watercourses as sites are developed, through the section 94 contributions. Land between the watercourse and the 1% Annual Exceedence Probability flood level can either be:

1. Retained in private ownership and used for grazing, recreational activities or other permissible uses, or
2. Dedicated to Council at no cost to Council, for use as bushland, agricultural purposes or recreational purposes. There is no Section 94 off-set for the dedication / transfer of this land.

Objectives:

- (a) To conserve and rehabilitate riparian corridors within the West Dapto release area having regard to the significant environmental and other values of this land.
- (b) To ensure that revegetation of riparian corridors is consistent with the Flooding Strategy.

Controls:

1. Development Applications shall identify the proposed land use and ownership of the riparian land.
2. Revegetation of riparian corridors shall not increase the flood risk to surrounding residential land.
3. Refer to Chapter E23: Riparian Land Management for controls relating to riparian lands.
4. The extent of riparian management activities is limited to the width of the 1% AEP flood level, which has been typically mapped as the boundary of the E3 Environmental Management and R2 Low Density Residential zone.
5. The Riparian Land Management Area can include land used for bushfire mitigation activities.



Wildlife habitat



Recreation



Water Management

6.3.6 Open Space and Recreation

Objectives:

- (a) To ensure the future residents of West Dapto have access to a range of high quality, functional areas for passive and active recreation.

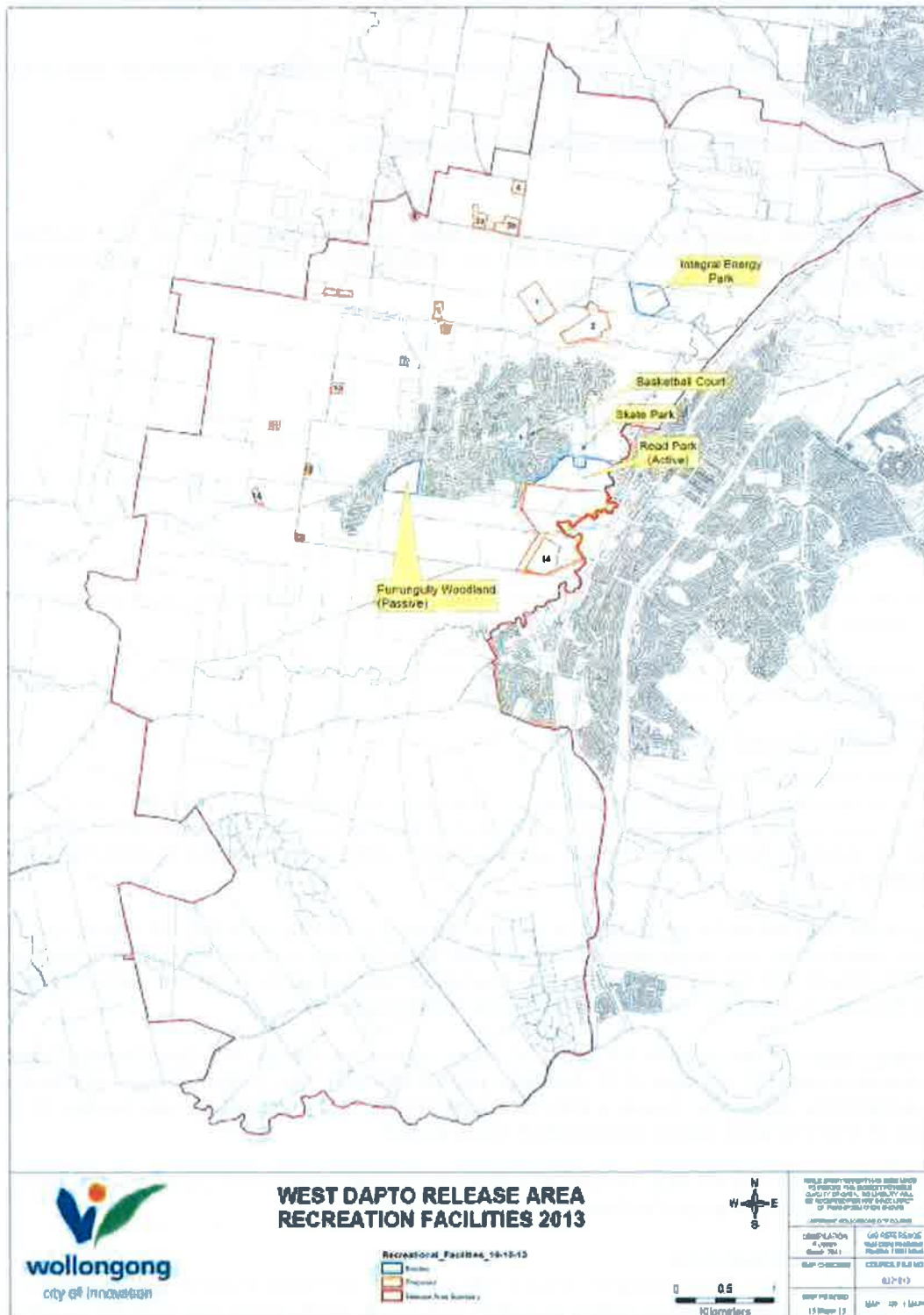
Controls:

1. Development Applications must include facilities and open space areas that are unique, either in design or characteristic, and which fit into the overall hierarchy of the West Dapto release area.
2. Playing fields should be located to take advantage of reasonably level land that may intersect with riverine corridors (maybe partially flood liable or filled) environment land (e.g. tree stands), senior schools or village nodes.
3. District Parks of 1-2 ha are to be provided within reasonable walking distance of all residents.

4. District Parks are to provide for active and passive recreational opportunities with areas for informal sports, walking, picnic / barbeque area, retained / established vegetation and where size permits leash free dog exercise areas.
5. Local parks are to be generally located within 200m of all residential uses (i.e. parks located with a 200m radius) and be generally 0.5ha or larger in area. Local parks should preferably incorporate stands of trees or environmental features to create a strong landscape character. They should also provide children's play areas, pavilions and kick around areas.

Figure 6.5.1 Recreation Facilities 2013

NB: Refer to West Dapto Section West Dapto Section 94 Plan – “Figure 4.2.1 Existing and proposed open space facilities” for details of each proposed facility



6.3.7 Acid Sulfate Soils

Certain land in West Dapto is subject to Acid Sulfate Soils (refer to the maps in the Wollongong LEP (West Dapto) 2010). If not correctly managed, the soils can adversely impact on the environment and development.

Objectives:

- (a) To ensure that development is designed, constructed and maintained to minimise and contain the risk posed by acid sulfate soils.
- (b) To protect downstream receiving waters and Lake Illawarra.

Controls:

- 1. Land which is subject to Acid Sulfate Soils shall be accompanied by an Acid Sulfate Soils Management Plan which demonstrates that the subject land is suitable for the proposed purpose, or will be suitable following remediation.

6.3.8 Services

Objectives:

- (a) To ensure adequate services are provided to facilitate new development.
- (b) To minimise the visual impact of services on neighbourhoods and land requirements for the provision of essential services.

Controls:

- 1. All services, including telecommunications, cable television, and the National Broadband Network (where appropriate) are to be provided underground.
- 2. Common trenching of services is encouraged, and consideration must be given to the location of underground services and landscape planting.

6.3.9 Subdivision Layout

Residential Density Distribution

The urban structure is predicated on providing for varying housing densities. In particular, medium density housing is proposed around the regional, district and village centres. Medium residential densities are essential to make the provision of efficient public transport viable and to provide support for viable and vibrant centres.

Housing areas will enable the provision of a range of housing products, including 3-4 storey apartments, 2-3 storey townhouses and single storey villas and courtyard homes. A range of housing types are to be provided to ensure that the housing needs of all household types are met. A diverse demographic profile will help ensure a sustainable and vibrant community in the long term.

In the early stages of the release the areas of lower residential density (R2 Low Density Residential zone), should provide an average of 13 dwellings per hectare and then in later stages, 15 dwellings. In the more sensitive areas, the structure plan proposes around 5 to 10 dwellings per hectare to enable protection of environmental values and minimize visual impact.

The areas of medium residential density (R3 Medium Density Residential zone) should provide an average of 20 to 25 dwellings per hectare.

Walking and Cycling Networks

The urban structure has been designed around the notion of walkable villages, with a series of town centres, village centres, and local nodes providing bus stops, local shops and amenities, community

facilities and schools, denser housing types and mixed use job opportunities. By locating facilities close to people and by co-locating them the aim is to reduce vehicle kilometres travelled (VKT) and to increase the proportion of local trips made on foot or by bicycle. This is a traditional approach to 'townmaking' which resulted in a series of places of character, as opposed to the placelessness of urban sprawl.

The riparian corridors are to be designed to promote walking and cycling through extensive pathway systems, and will clearly link to key destinations such as schools to promote walkability. The walkways and cycleways should be located outside of the 'core' riparian areas.

To promote cycling, key routes have been identified for on-road and on-footpath cycle provision. These link key places and destinations, and will connect with the east-west running cycle routes running along the riparian corridors (Figure 4.6). This will create a web of cycling opportunities to encourage a sustainable and healthy approach to local travel.

Objectives:

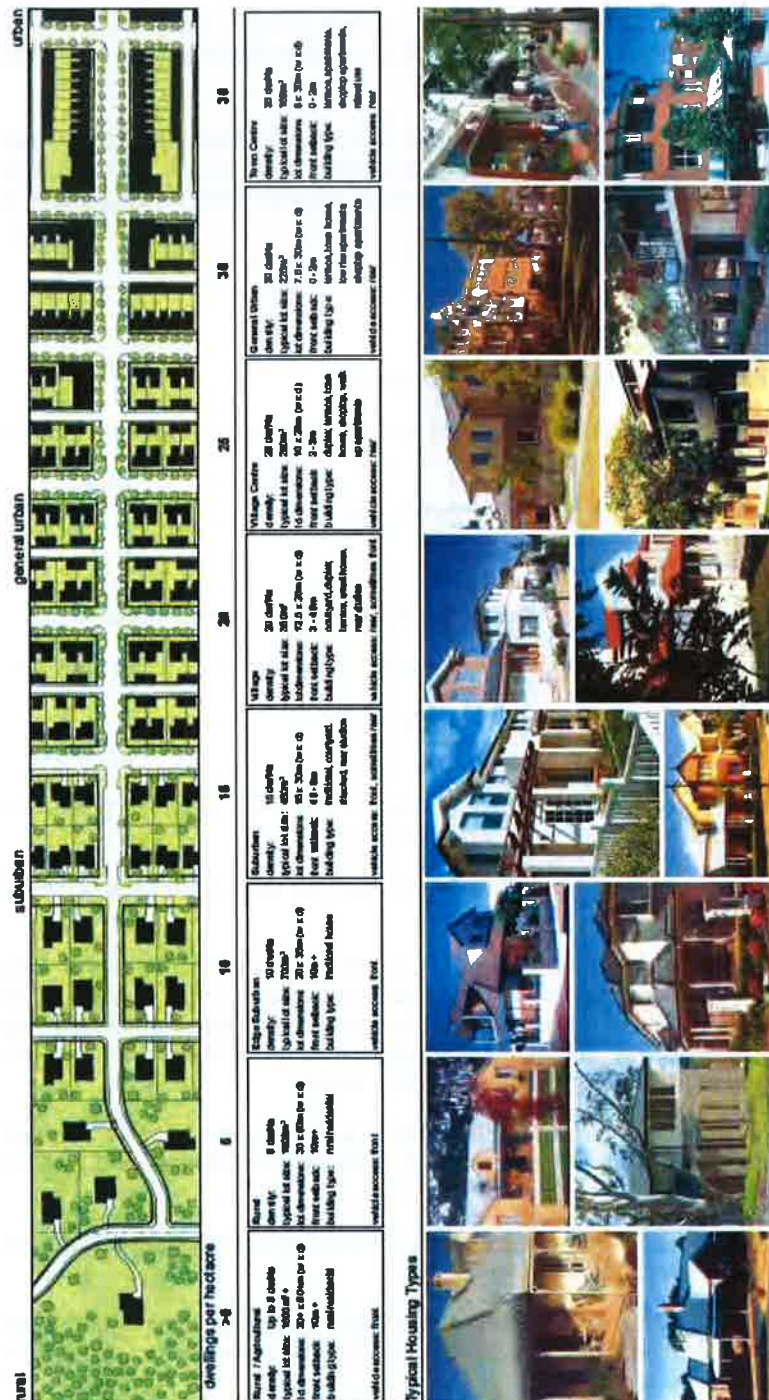
- (a) To achieve a superior design of development.
- (b) To maximise solar access and microclimatic benefits to residential lots.
- (c) To have regard to topographical features, site characteristics and constraints, and special features within a sector.
- (d) To meet a range of housing needs and provide housing diversity and choice.
- (e) To facilitate surveillance of public open spaces.
- (f) To encourage non-motorised modes of transport and accessibility within the development.
- (g) To develop and maintain an ecologically sustainable environment, reduce use of fossil fuels and encourage use of renewable energy.

Controls:

- 1. Lot size and layout must respond to the physical characteristics of the land, such as slope and existing significant vegetation, and site constraints including bushfire risk.
- 2. A variety of lot sizes and dimensions must be provided to achieve the density requirements for residential development (Refer to Figure 6.6).
- 3. The subdivision layout is to incorporate adequate pedestrian, cycle and vehicle links to the road network, public transport nodes, pedestrian/cyclist network, and public open space areas. The street and subdivision layout should minimise fuel use by reducing travel distances and maximising public transport effectiveness. Connectivity within neighbourhoods is essential to ensure the majority of dwellings are within 400 metres walking distance to bus stops.
- 4. Lot design is to facilitate housing fronting onto creek line corridors and other areas of public open space, to incorporate these spaces into the living environment, facilitate surveillance, and prevent isolation and degradation of these spaces.
- 5. The subdivision layout provides for a neighbourhood in which a range of basic retail services are within easy walking distance of a large proportion of residents.
- 6. The majority of lots should achieve a 5 star rating with the remainder achieving a minimum 4 star rating, as defined by an analysis determined from the Sustainable Energy Development Authority's (SEDA) "Solar Access For Lots" document.
- 7. Lots must have the appropriate area and dimensions for the siting of dwellings, canopy trees and other vegetation, private outdoor open space, rainwater tank, and vehicular access and on-site parking.

8. Lots must be of sufficient size and orientation with the main living room(s) able to receive northern sunlight in winter.

Figure 6.6 Housing choice transect



6.3.10 The Road System

Road Network

West Dapto is to have a strong structure or 'skeleton' to create easy movement routes and to help with way finding. This is called a 'legible' street pattern and provides a clear street hierarchy. The hierarchy of different streets is clearly demonstrated by their design, width as well as a number of other attributes. The future road hierarchy for West Dapto is shown on the master plan (Figure 4.5).

The existing routes of West Dapto Road, Shone Avenue, Bong Bong Road, Cleveland Road, Avondale Road, Huntley Road, Marshall Mount Road and Yallah Road have all been incorporated into the new pattern, both as reminders of the past and as key routes in the future.

The necessary road network will be implemented in stages and will incorporate a package of networks which will provide a timely and affordable response and ensure that there is adequate flood free access to Horsley and the greater release area.

Public Transport

The structure of the West Dapto release area gives primacy to accessibility and in particular accessibility by public transport.

To this end the existing railway station at Dapto will be linked to the developing suburbs by local and feeder bus routes using Bong Bong Road, Fowlers Road, Darkes Road and a new access link running north south to the west of Mullet Creek.

The Kembla Grange Station will continue to serve the employment area and Kembla Grange race track and may also contain a bus interchange and commuter parking facilities.

In order to create a sustainable development outcome for West Dapto an effective bus transport system is one of the keys to reducing the use of private vehicles for all trips. The main road structure has been designed with this in mind, whereby a primary bus loop has been created for express services, linking key centres within the new pattern. Secondary routes link all other centres to this, meaning that the majority of residents will be within a five minute (400m) walk of a local bus stop.

Objectives:

- (a) Sustainable transport and travel to, from, and within West Dapto together with less use of private motor vehicles, fewer motor vehicle kilometres travelled, and improved air quality.
- (b) Safety for all road users, particularly pedestrians, cyclists, children and older people.
- (c) Safe, convenient and direct access by non-motorised means from residences to public transport, employment areas, adjoining sectors, open space, community facilities and other services.
- (d) To encourage travel by pedestrians, cyclists and public transport rather than travel by private motor vehicle.
- (e) To become less car dependent and reduce the private motor vehicle kilometres travelled (vkt).
- (f) To provide a range of traffic and transport routes throughout the area.

Controls:

- 1. Development Applications must include a traffic analysis and road master plan, prepared by a suitably qualified professional, and demonstrate that the objectives and controls in regard to the roads will be achieved.
- 2. Streets are to be designed in accordance with the Street Hierarchy identified in the West Dapto Master Plan as amended and shall have regard to function. The road hierarchy is as follows:

- a) Arterial Road – These streets are to be the main structural routes connecting the West Dapto development area together. They also serve to link to the surrounding areas and are the primary public transport routes. Street based uses fronting the road with generous footpaths (on both sides where appropriate) and street trees typify these streets especially in town and village centres.
- b) Collector – Along key connecting streets between local centres and containing bus routes will be the main avenues. These will be attractive tree lined routes for buses, private vehicles and pedestrians to share. They will contain a footpath on one side or both sides where appropriate.
- c) Local Streets – Neighbourhood streets with good landscape/verges and on-street parking to limit speeding. They will contain a footpath on one side or both sides where appropriate.
- d) Edge Streets – Along bushland and open space edged, low key streets which front open space are intended. These help in managing water and fire and give good outlook to houses on the edge. They will contain a footpath on one side or both sides where appropriate.
- e) Rear Lanes – Where denser housing occurs, for instance around local centres, rear access allows good street frontages for attached or smaller dwellings. Lanes and car courts can have garages with studies above for security and housing choice. They will contain a footpath on one side where appropriate.

See Figures 6.9 Road Types Plan and Figure 6.10 Road Sections below, for more detail.

- 3. Land to create road reserve of sufficient width to enable the construction of the typical road cross section is required to be dedicated to Council.
- 4. The street pattern must provide direct, safe, and convenient pedestrian and cyclist access from housing and employment areas to public transport stops.
- 5. Each new neighbourhood is to provide safe and convenient walking and cycling connections to adjoining neighbourhoods, and to adjacent areas of open space, services and other facilities.
- 5. Connectivity within neighbourhoods is required to ensure the majority of dwellings are within 400 metres walking distance to bus stops.
- 6. Construction over or within waterways should have regard to the Fish Passage Guidelines developed by NSW Fisheries.

Figure 6.7 Proposed Road Network

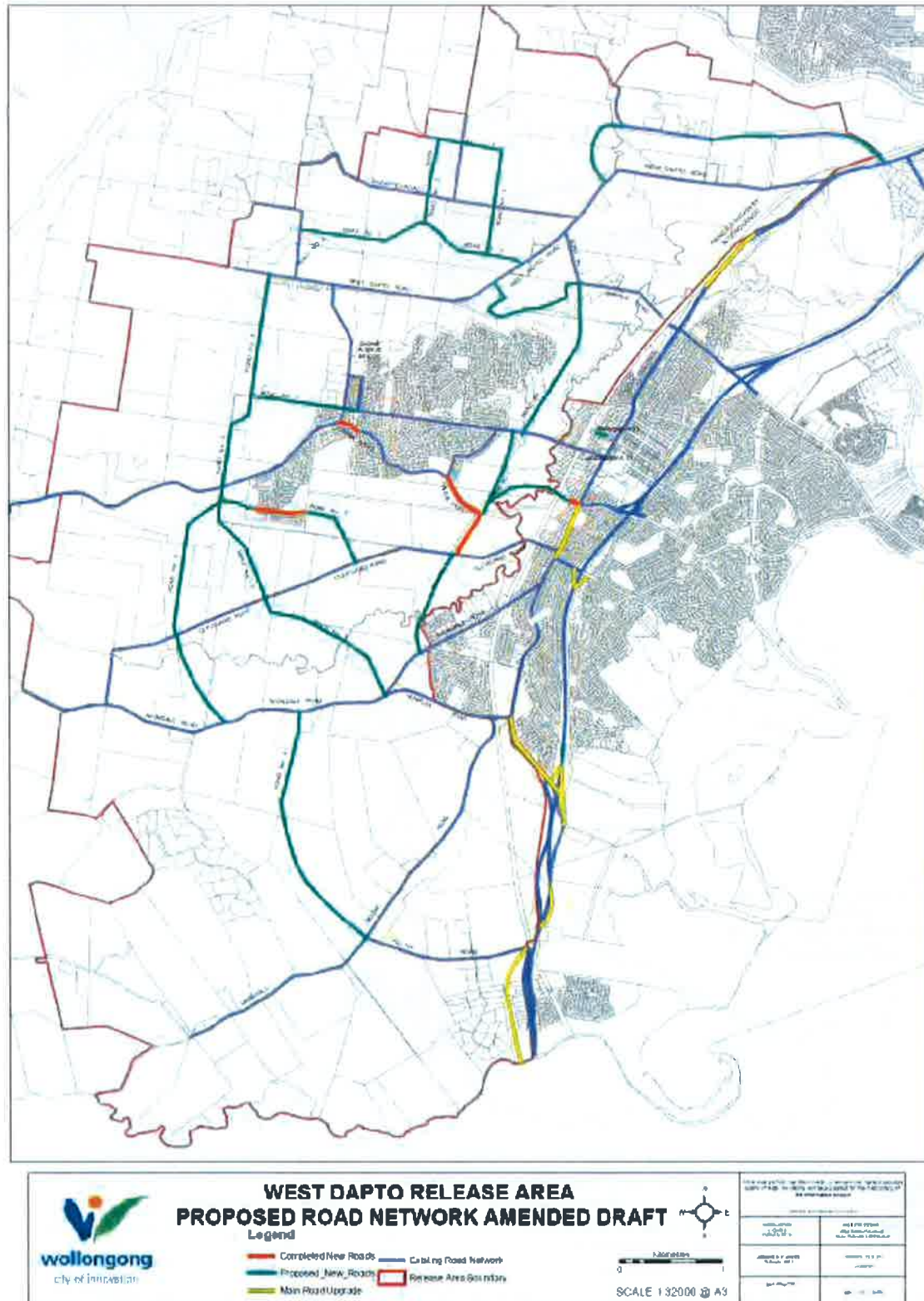


Figure 6.8 Cycleway network

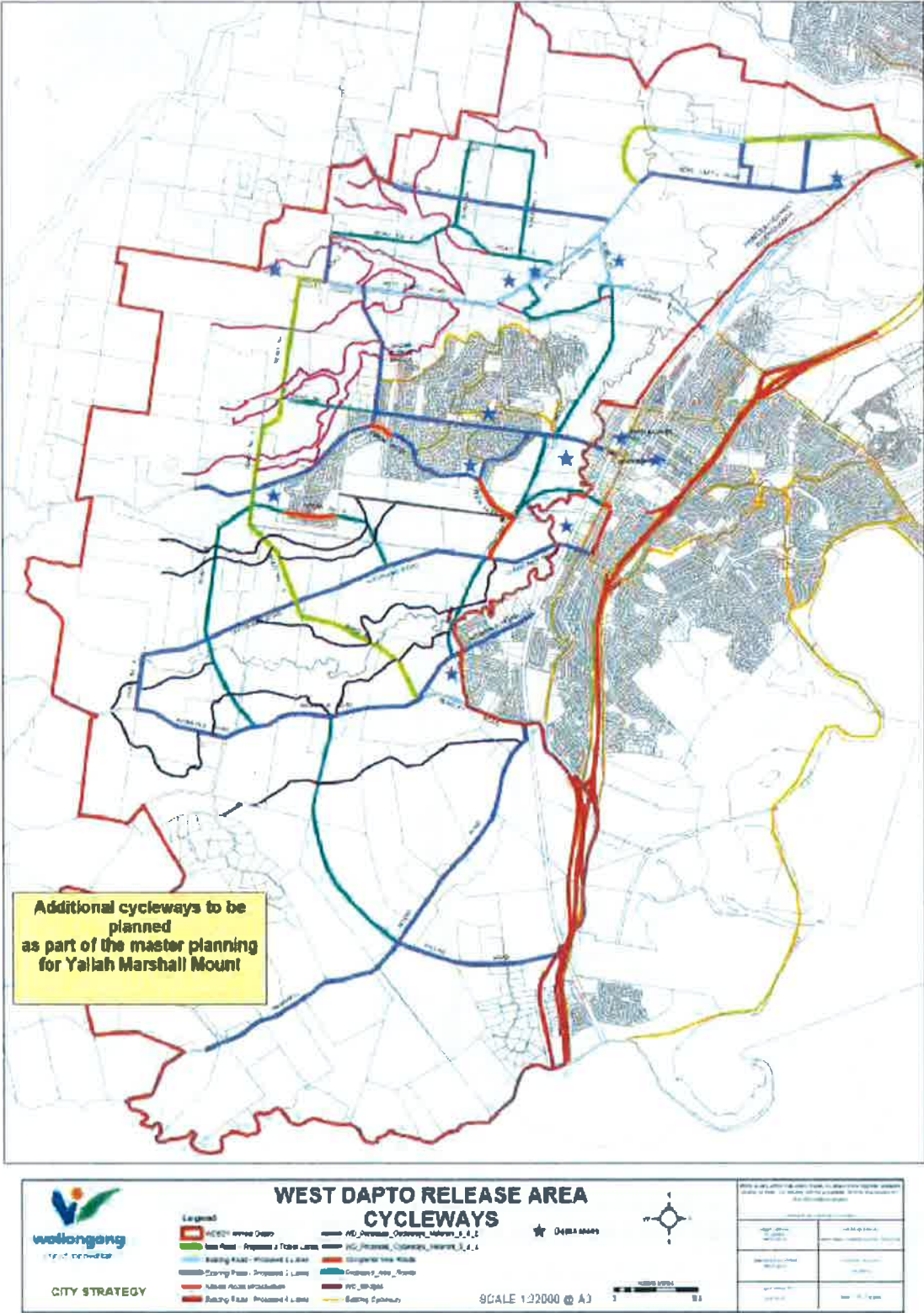


Figure 6.9 Road Types

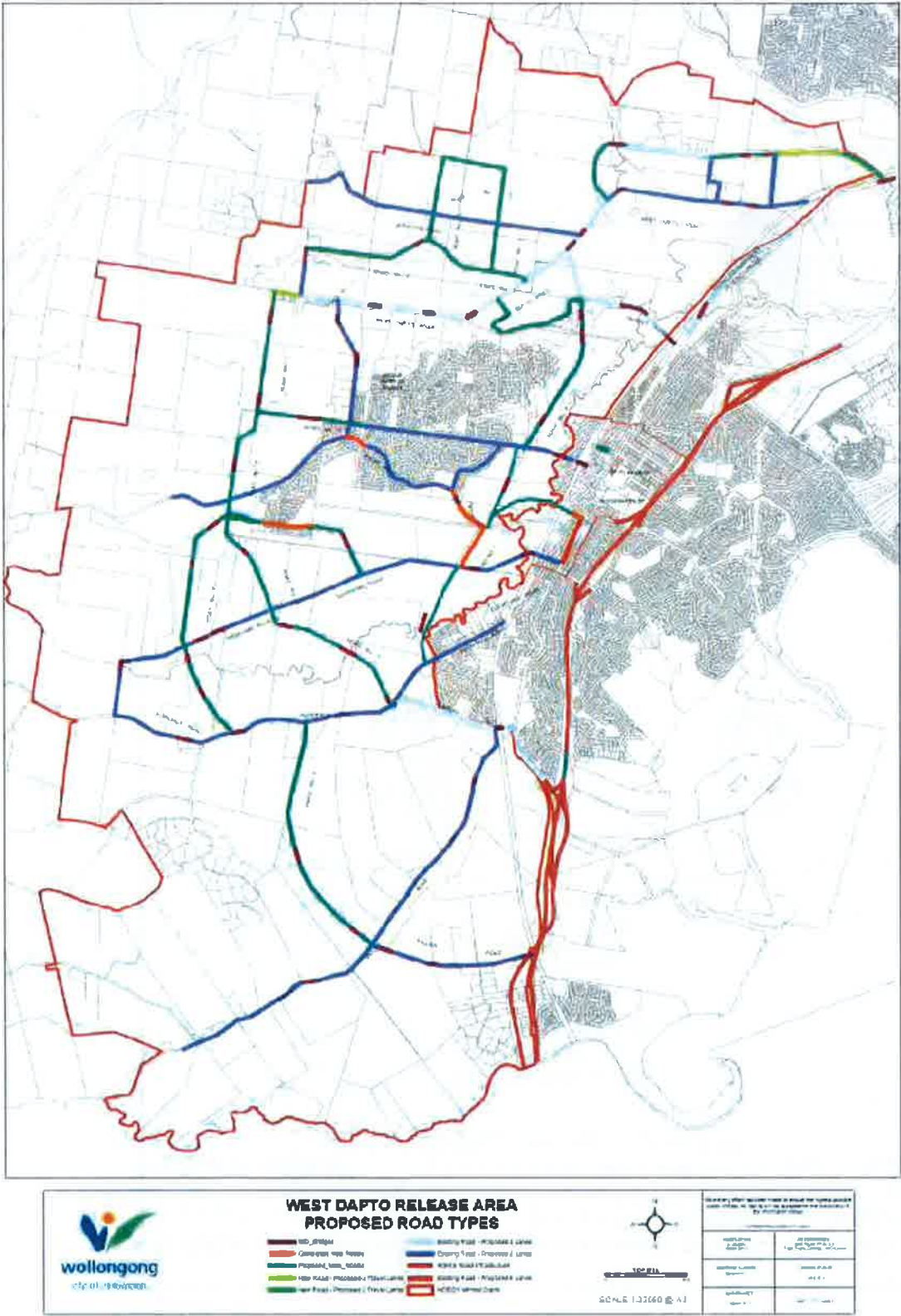
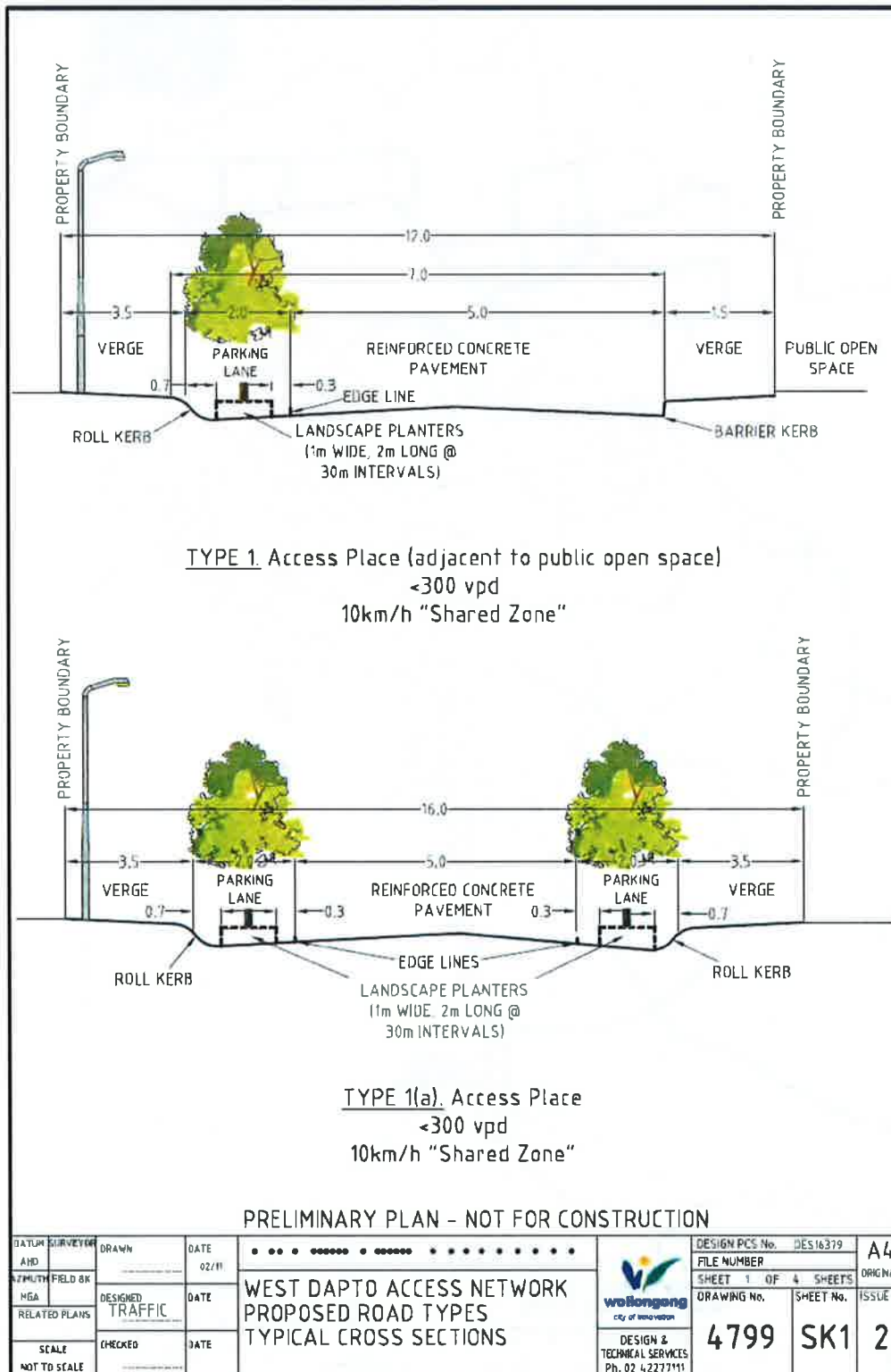
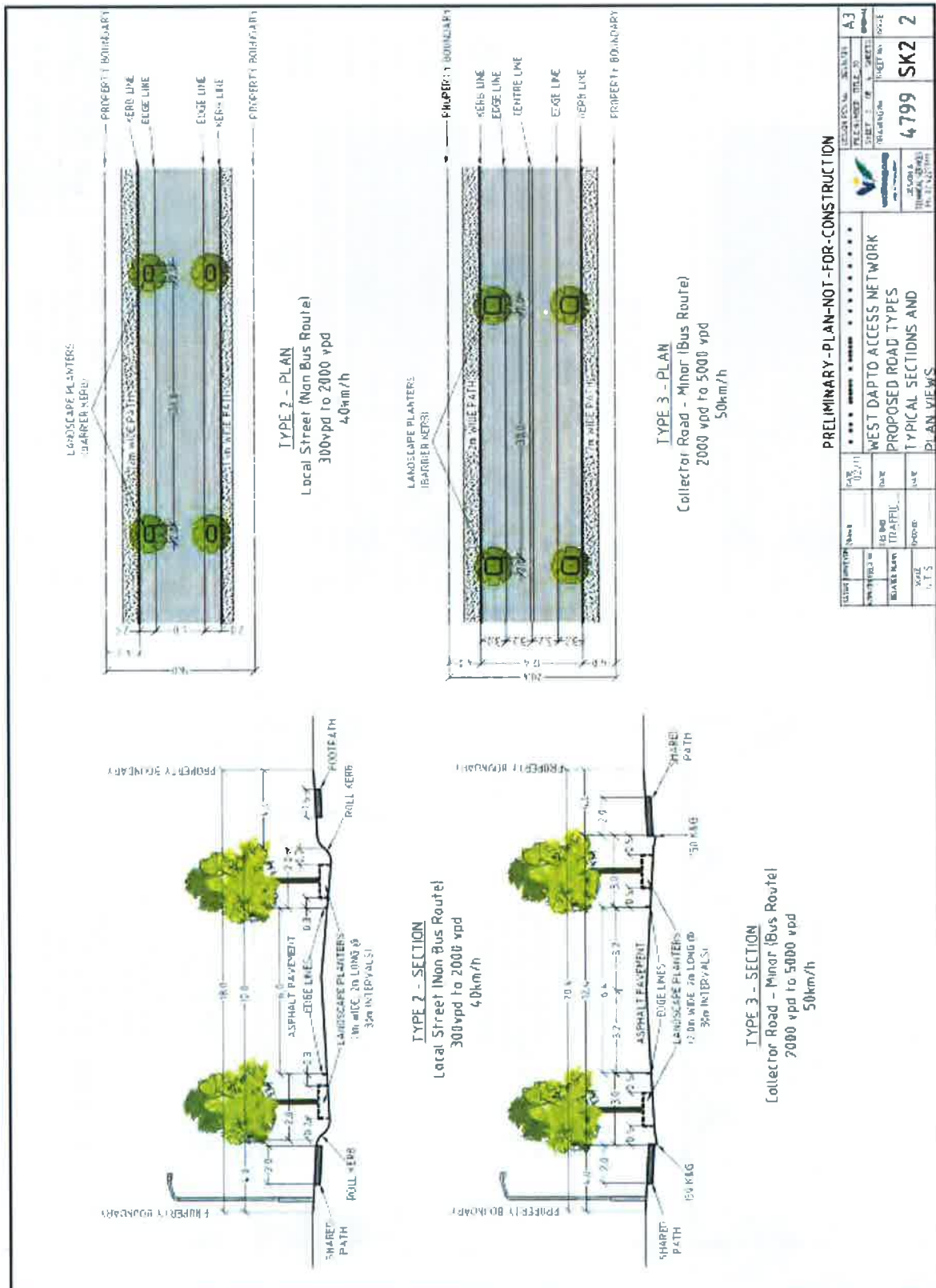
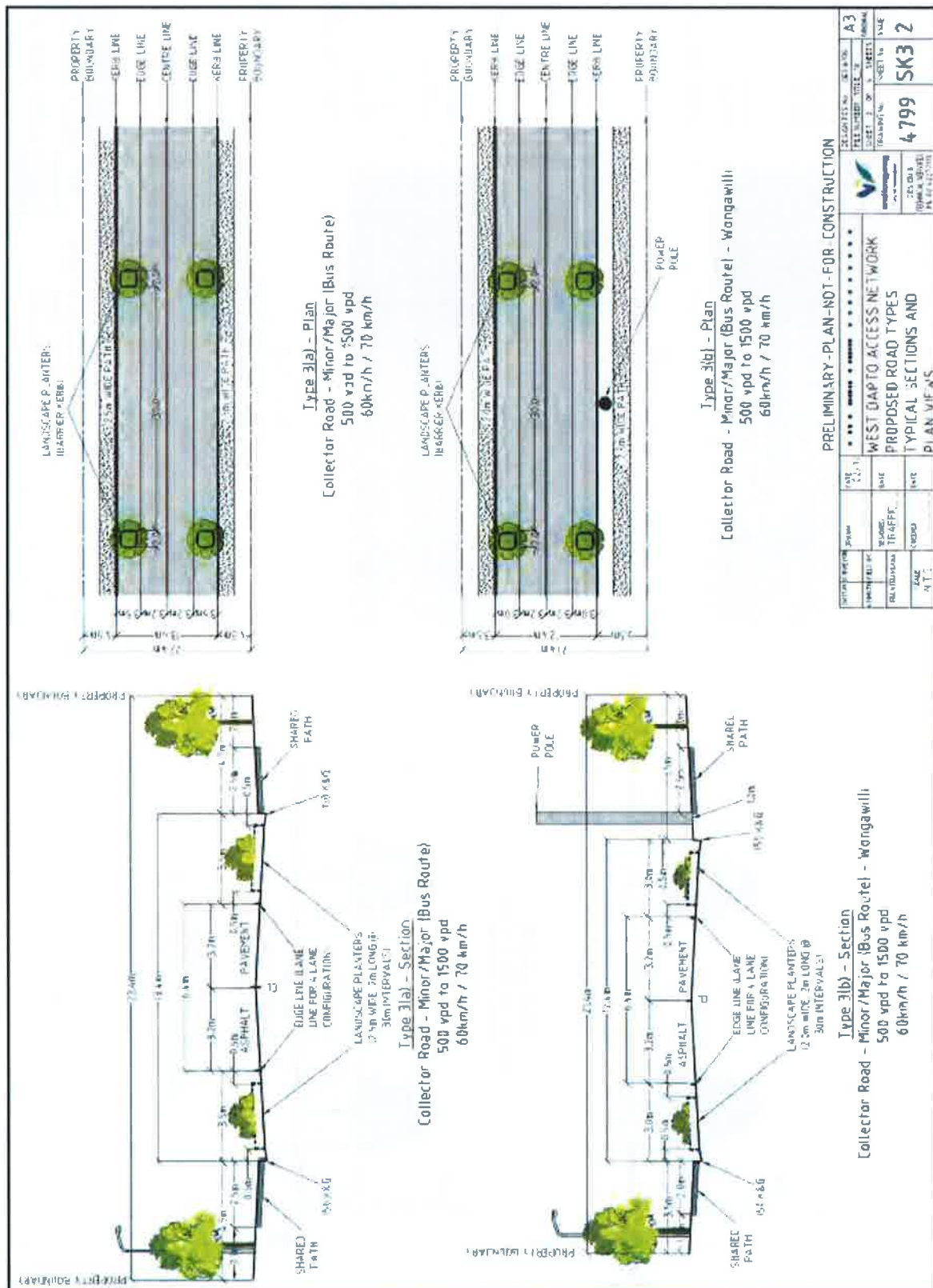


Figure 6.10 Road Cross Sections







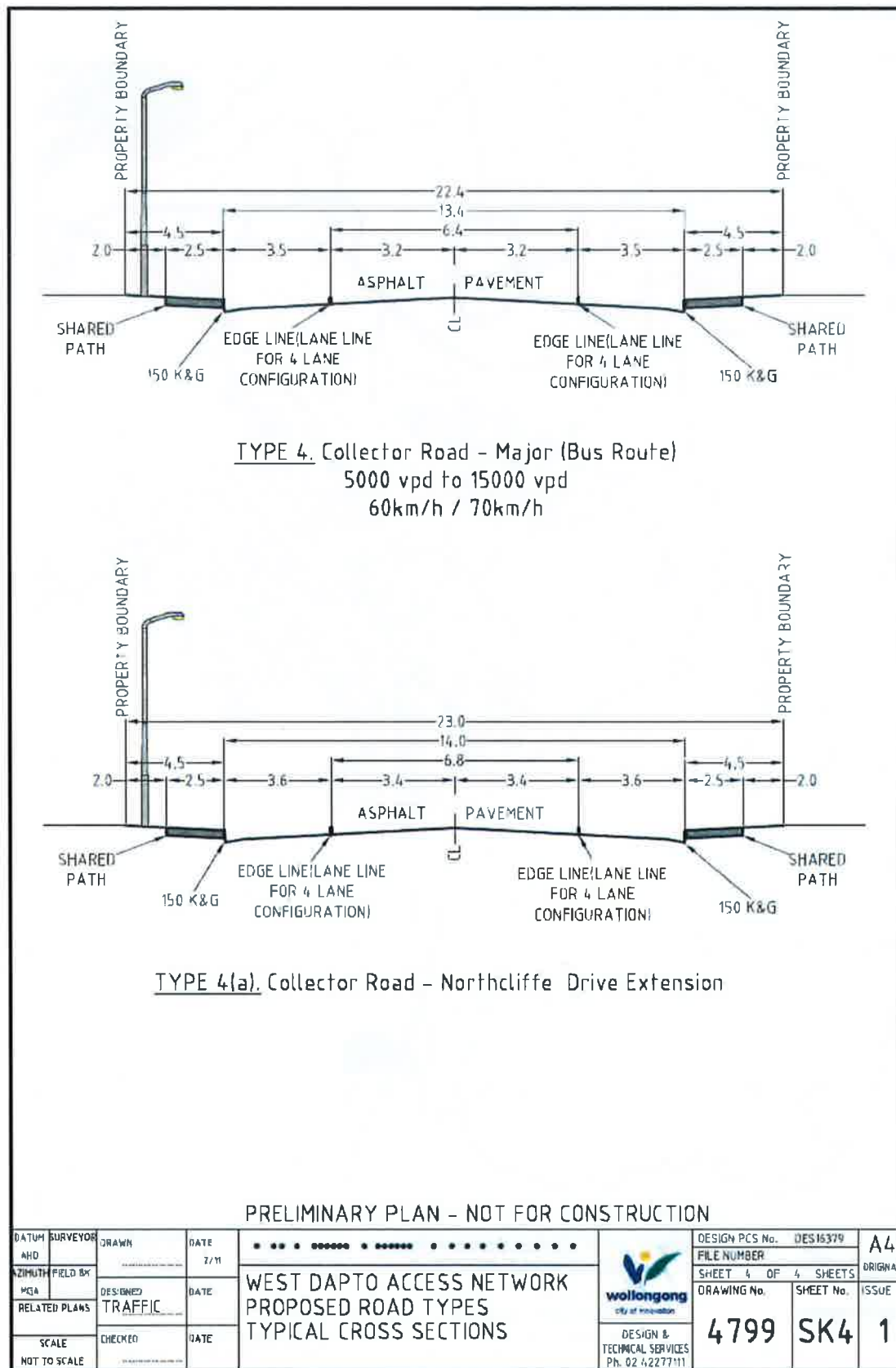


Figure 6.11 Proposed Flood Access Network

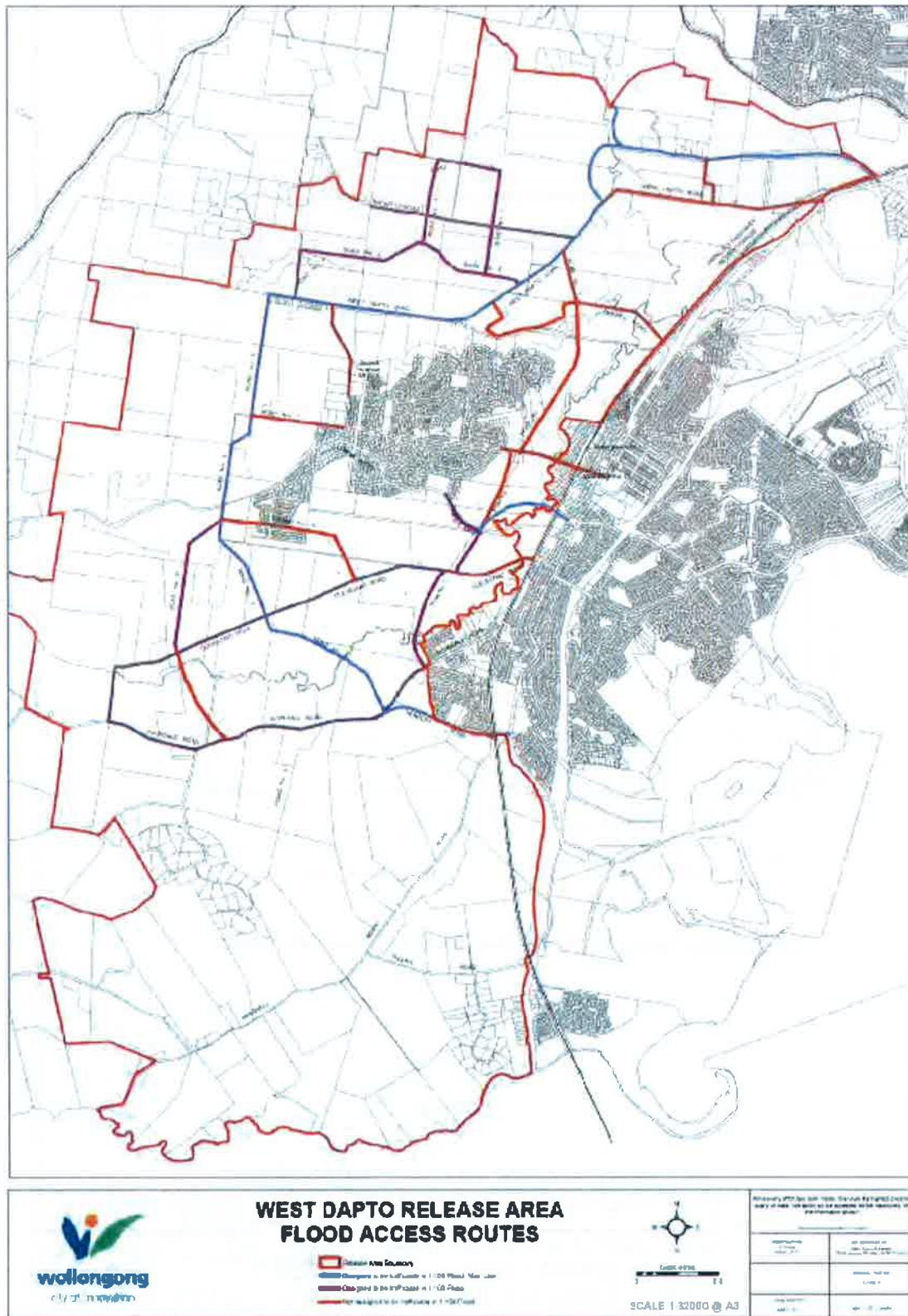
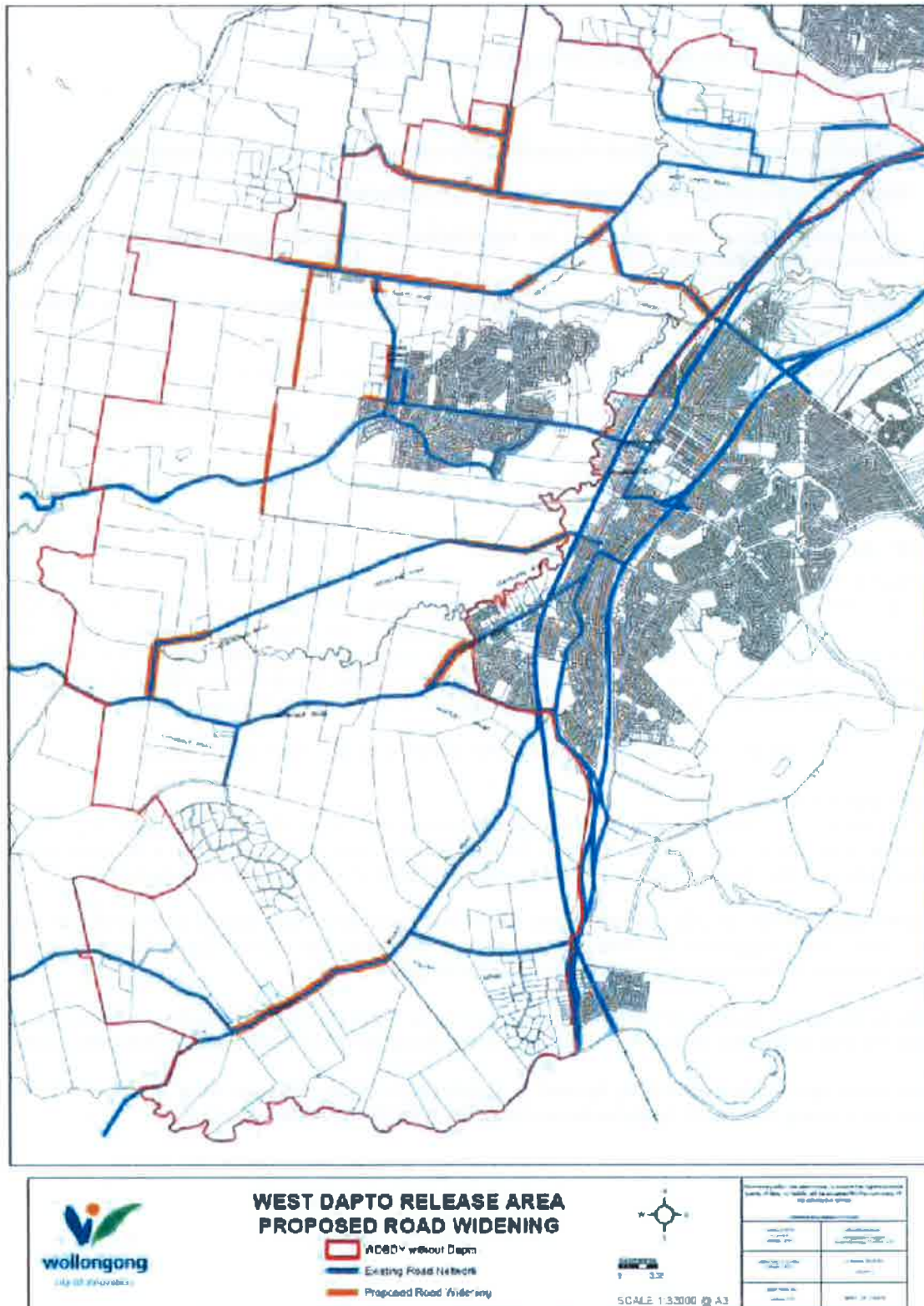


Figure 6.12 Proposed Road Widening



6.3.11 Areas under Easement

Objectives:

- (a) To use land under electrical easement for positive urban purposes.

Controls:

1. A Development Application shall include the proposed use of all land under easement.
2. Water management can be carried out in electrical easements
3. Landscape planting (low rise) can be established in electrical easements while allowing for necessary service access.
4. More significant planting can happen on the edge of electrical easements to create a visual buffer to electrical infrastructure
5. Recreational uses and open space can be established within easements.
6. Easements can be used for roads, pedestrian and cycle routes subject to approval by the easement authority.
7. Consultation with TransGrid is required to ensure that buffers, road levels and access are adequate.

6.3.12 Schools and Community Facilities

Community Facilities

Community facilities such as childcare, halls youth/aged centres and recreation facilities will be co-located with schools in or near centres. These will be provided in efficient floor plan buildings which may be mixed use and be two or three storeys high, with ground level community use. The aim is to create these as 'foreground' buildings which are symbols of community aspirations. Flexible floor plans will enable these facilities to evolve over time and hence respond to the needs of the community as it grows.

Local facilities will be developed for individual neighbourhoods as development progresses.

Educational Facilities

The Department of Education and Training has indicated that West Dapto will require eight primary schools and two secondary schools. Primary Schools require three developable hectares, special needs schools require 2 developable hectares and secondary schools require six developable hectares.

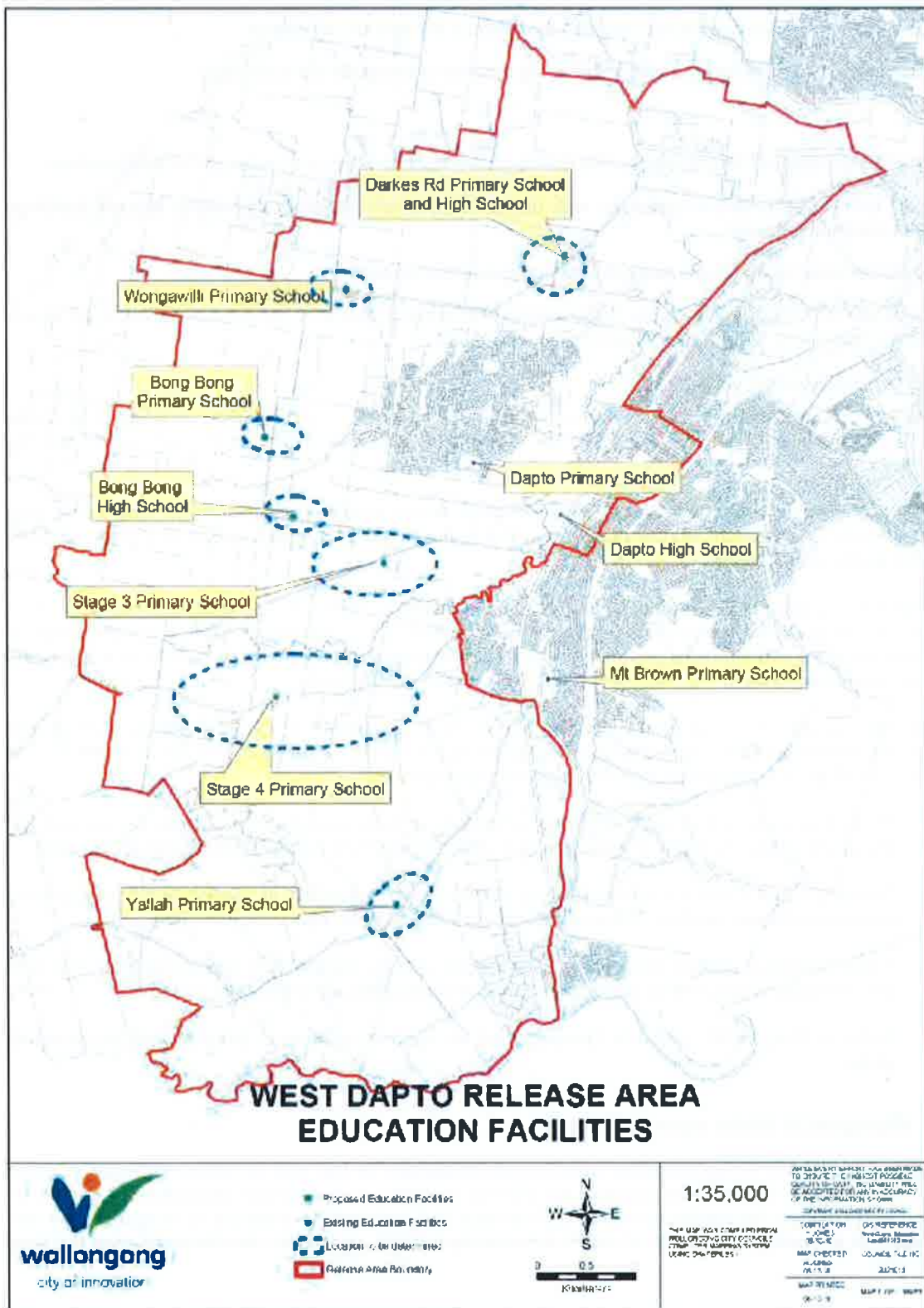
The distribution pattern for the schools ideally would include a secondary school in proximity to Darkes Road Town Centre supported by three primary schools one being the current Dapto Public School plus two new schools in the vicinities of Darkes Road and Wongawilli.

Subject to demand a new secondary school in proximity to Bong Bong Town Centre supported by three primary schools potentially Jersey Farm Robins Creeks, Bong Bong/Cleveland and Avondale/Moorland.

A third secondary school potentially located in Calderwood Urban Release Area (if approved) would service two primary schools in Calderwood and another in the Marshall Mount area.

A special needs school should be either co-located with or separate to a mainstream school.

Figure 6.13 Proposed Schools



Objectives:

- (a) To locate important community facilities to reinforce the role of key places
- (b) To create built form 'foreground' buildings to contrast with residential backdrop.

Controls:

- 1. Primary school and community facility buildings are to be located in or adjacent to local centres
- 2. Built form to be urban in character with upper floors where possible and street aligned buildings with minimal setbacks
- 3. Minimise land take and site area of community / school uses
- 4. Dual use of school open space, school halls and other community facilities is encouraged where wider community benefit can be gained.

6.3.13 Employment Area

The creation of employment opportunities within and near to West Dapto is a key strategy in enabling people to work close to where they live and thereby reduce the overall traffic generated by the development.

The main employment areas are West Kembla Grange and a small expansion of the Yallah industrial area. In addition employment will be provided in the centres and within community and other services generated by the development.

The West Kembla Grange area will continue as a major industrial precinct. The availability of land within this area and its suitability for development is a key opportunity for West Dapto. West Kembla Grange is likely to benefit from infrastructure upgrading in the early stages of the urban development as it is located in close proximity to areas in the north which are likely to be released first.

An enterprise corridor has also been planned to the north and south of Dapto Regional Centre and between the railway and the F6 in the south adjacent to the Yallah Campus of the Illawarra Institute of TAFE, which will provide additional local employment opportunities.

- 1 All development within land zoned for employment purposes shall be in accordance with the principles contained within the Wollongong LGA Employment Lands Strategy (Hill PDA, 2006).
- 2 Sections 4.2, 4.3 and 4.4 of the Strategy contain specific controls in relation to land for general employment uses, land for heavy industrial uses and land for light industrial uses.
- 3 These principles include preserving large parcels and clusters of light and heavy industrial land and ensuring that business parks are not accommodated in light industrial zones.
- 4 Refer to Chapter B5 Industrial Development for controls relating to development on industrial lands.

6.4 Wongawilli Mine spur railline

It is anticipated that the Wongawilli Mine will continue to operate for the next 30 years, or longer. Coal is transported from the mine to Port Kembla via the rail network. Future urban development should be designed to recognise the continued use of the rail spur line and include measure to mitigate noise and other potential impacts. Division 15 of SEPP Infrastructure 2007, applies to development near the spur line.

Objectives:

- (a) To facilitate the transport of coal from Wongawilli Mine to Port Kembla by rail transport.
- (b) To minimise rail noise, vibration and other impacts on dwellings near the rail spur line.

Controls:

- 1. Development Applications for subdivision and dwelling houses within the rail buffer area (Refer to Figure 6.13), are to include sound attenuation measures that achieve a maximum of 35dBA within the dwelling.
- 2. Development Applications for subdivision and dwelling houses within the rail buffer area, are to include consider vibration impacts and include mitigation measures.
- 3. The development applications must satisfy the requirements of SEPP Infrastructure Division 15.

Figure 6.14 Wongawilli rail noise area

